

CITY OF DAPHNE
1705 MAIN STREET, DAPHNE, AL
CITY COUNCIL BUSINESS MEETING AGENDA
Monday, October 7, 2024 at 6:00 P.M.

1. CALL TO ORDER

2. ROLL CALL

INVOCATION Pastor Connor Baker, Church of the Highlands
PLEDGE OF ALLEGIANCE

PROMOTION: Lieutenant Cameron Boyington

RECOGNITION: Medal of Merit: Corporal Joshua Dunnam
Corporal Sheena Travis
Officer Brian Wenzinger
Officer Sean Capps

Chief's Commendation Award: Telecommunicator II Katie King
Telecommunicator Pamela Oberst

PRESENTATION: United State Sports Academy

3. APPROVE MINUTES: September 16, 2024 regular meeting

4. REPORTS OF STANDING COMMITTEES

A. FINANCE COMMITTEE – Phillips
Review the minutes from the September 16th meeting.
Treasurer's Report for August 2024: Unrestricted Fund Balance - \$25,344,560;
Total Cash Balance - \$44,102,461
Sales Tax for July 2024: \$2,294,362.38; Lodging Tax for July 2024: \$191,319.90
Debt Summary – August 2024: Warrants - \$30,808,902
Capital Leases: General Fund - \$431,121; Enterprise Fund - \$456,003

B. BUILDINGS & PROPERTY COMMITTEE – Goodlin

C. PUBLIC SAFETY COMMITTEE – Hughes

D. CODE ENFORCEMENT/ORDINANCE COMMITTEE – Scott

E. PUBLIC WORKS COMMITTEE – Conaway

5. REPORTS OF SPECIAL BOARDS & COMMISSIONS

A. BOARD OF ZONING ADJUSTMENTS – Adrienne Jones

B. DAPHNE PUBLIC SCHOOL COMMISSION – Conaway

C. DOWNTOWN REDEVELOPMENT AUTHORITY – Conaway
Review the minutes from the July 18th meeting.

D. INDUSTRIAL DEVELOPMENT BOARD – Scott

E. LIBRARY BOARD – Goodlin

City Council Agenda – October 7, 2024

F. PLANNING COMMISSION – Olen
Review the minutes from the August 22nd meeting and the report from the September 26th meeting.

G. RECREATION BOARD – Hughes

H. UTILITY BOARD – Coleman
Review the minutes from the August 28th meeting.

6. PUBLIC PARTICIPATION

7. MAYOR'S REPORT

8. CITY ATTORNEY REPORT

9. DEPARTMENT HEAD REPORTS

10. CITY CLERK'S REPORT

MOTION to approve the 011 – Lounge Retail Liquor – Class II (Package) to Sai Blessings LLC dba Legacy Spirits 2 located at 28600 US Highway 98, Unit G, Daphne, AL.

MOTION to approve the Ballin' on Belrose Fundraiser – Run/Walk Challenge with a road closure of Belrose Avenue on May 17, 2025 from 6:30am – 1:00pm.

MOTION to approve the publication and set a public hearing on November 18, 2024 for the Fortuna Investments, LLC, Industrial Development Board and the City of Daphne Zoning Amendment located Southeast of Champions Way and Alabama Highway 181.

11. RESOLUTIONS:

2024 – 47 – Declare Certain Personal Property Surplus: 2006 F350 Crew Cab Truck-V#1805 and 2014 Carolina Skiff-Recovery #4 – Donate to Daphne Search & Rescue

2024 – 48 – RFQ Award: 2024-RFQ-Safe Streets for All (SS4A) Comprehensive Safety Action Plan for the City of Daphne

2024 – 49 – Bid Award: 2024-H-Park Chemicals

12. 2nd READ ORDINANCES:

13. 1st READ ORDINANCES:

14. COUNCIL COMMENTS

15. ADJOURN

September 16, 2024
CITY COUNCIL MEETING
REGULAR BUSINESS MEETING
1705 MAIN STREET
DAPHNE, AL
6:00 P.M.

1. **CALL TO ORDER:**

There being a quorum present Council President Steve Olen called the meeting to order at 6:01pm.

2. **ROLL CALL:**

COUNCIL MEMBERS PRESENT: Tommie Conaway, Joel Coleman, Ron Scott, Steve Olen, Doug Goodlin, Ben Hughes and Angie Phillips

Also Present: Chief Gulsby, Police; Patrick Dungan, City Attorney; Candace Antinarella, City Clerk; Chief Tacon, Fire; Charlie McDavid, Recreation; Adrienne Jones, Planning; Kelli Reid, Finance; Emmie Powell, Library; Ange Baggett, Marketing/Tourism; Vickie Hinman Graddick, Human Resources; Ronnie Huskey, Public Works; Troy Strunk, City Development; Dareon Maynard, Junior City Councilmember; Jonathan Eddingfield, Junior City Councilmember; John Wallace Simpson, Junior City Councilmember; Lakyn Coggin, Junior City Councilmember; Abby English, Junior City Councilmember; Schuyler Smith, Junior City Councilmember; Merrill Rigby, Junior City Councilmember; and Jessica Linne, Assistant City Clerk.

INVOCATION/PLEDGE OF ALLEGIANCE:

Invocation was given by Councilman Ron Scott.

RECOGNITION: Jewel Lawson and Sandy Robinson thanked the Council, Mayor, City Employees and Public Works for all their work with the Community Spirit Day.

PRESENTATION: Mayor LeJeune presented a proclamation for Childhood Cancer Awareness Month.

PRESENTATION: Mayor LeJeune presented a proclamation for the National Voter Registration Day.

RECOGNITION: Mayor LeJeune and Ronnie Huskey recognized Eric Seals, City Garage Supervisor, for his achievement in earning his certificate of Master Automobile Technician.

3. **APPROVAL OF MINUTES:**

The minutes from the September 3, 2024 regular meeting were approved.

4. **REPORT OF STANDING COMMITTEES:**

A. **FINANCE COMMITTEE**

Councilwoman Phillips said the Committee met earlier and the report will be given at the next Council meeting. The next Finance meeting is October 21st at 4:30pm.

MOTION by Councilwoman Phillips to offer the City Engineer position above midpoint. No second was needed. MOTION CARRIED UNANIMOUSLY.

B. **BUILDINGS & PROPERTY COMMITTEE**

Councilman Goodlin said the minutes from the August 12th meeting were in the packet and gave the August 2024 new construction and building report: certificates of occupancy – 29; permits issued – 240; new residential home permits – 13; total fees collected - \$182,336.68. He said the next meeting is October 14th at 5:15pm.

C. **PUBLIC SAFETY COMMITTEE**

Councilman Hughes said the next meeting is October 14th at 4:30pm and the minutes from the August 12th meeting were in the packet.

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D. CODE ENFORCEMENT/ORDINANCE COMMITTEE

Councilman Scott said the next meeting is October 7th at 4:30pm.

E. PUBLIC WORKS COMMITTEE

Councilwoman Conaway said the minutes from the August 5th meeting are in the packet and the next meeting is October 7th at 5:15pm.

MOTION by Councilwoman Conaway to appoint Curt Fonger to the Environmental Advisory Committee for a two-year term until September 2026. No second was needed. MOTION CARRIED UNANIMOUSLY.

5. REPORTS OF SPECIAL BOARDS & COMMISSIONS:

A. Board of Zoning Adjustments

Mrs. Jones said there is no September meeting and no report.

B. Daphne Public School Commission

Councilwoman Conaway said the next meeting is September 30th at Belforest Elementary School at 5:30pm.

C. Downtown Redevelopment Authority

Councilwoman Conaway said the next meeting is September 19th at 5:30pm.

D. Industrial Development Board

Councilman Scott said the next meeting is September 17th at 4:30pm.

E. Library Board

Councilman Goodlin said the next meeting is October 10th at 4:30pm at the Library.

F. Planning Commission

Councilman Olen said the next meeting is September 26th at 5:00pm.

G. Recreation Board

Councilman Hughes said the next meeting is September 18th at 6:00pm.

H. Utility Board

Councilman Coleman said the minutes from the July 31st meeting are in the packet and the next meeting is September 25th at 5:00pm.

6. PUBLIC PARTICIPATION:

Public participation opened at 6:21pm.

No one came forward to speak.

Public participation closed at 6:21pm.

7. MAYOR'S REPORT:

Mayor LeJeune thanked Jewel Lawson and Sandy Robinson for their work with the Community Spirit Day. He reminded everyone that their blue trash cans are being pulled. He said the Animal Shelter is set to open in October.

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8. CITY ATTORNEY REPORT:

City Attorney asked all to keep Jay Ross and his family in their thoughts and prayers with the recent passing of his wife, Sheila. He asked the Council if they would consider going into Executive Session at the end of the meeting.

9. DEPARTMENT HEAD COMMENTS:

Chief Gulsby, Police, shared what the Police Department does for training when it comes to active shooters. He introduced Officer Jamie Huffman and she shared what the Police Department is doing to prepare for potential active shooters and the training she'd like to see implemented in the near future.

Chief Tacon, Fire, reminded everyone that October is Fire Prevention Month and said the Fire Department will hold their Driver's Test tomorrow. She expressed her condolences to Jay Ross in the passing of his wife.

Ange Baggett, Marketing, said the Baldwin County College Fair was held today at the Civic Center and shared about upcoming events within the City and Civic Center.

Vickie Hinman, Human Resources, said the City has held supervisor training and that the Human Resources Department is working upcoming employee benefit changes.

Ronnie Huskey, Public Works, said the landscape team is busy around the City. He reminded everyone they are collecting the blue trash cans.

Charlie McDavid, Recreation, said the first tournament of the fall season was last weekend.

Adrienne Jones, Planning, gave information on the September Planning Commission agenda.

Abby English, Junior City Council, said the meeting was cancelled last week but it will be rescheduled soon.

10. CITY CLERK'S REPORT:

The City Clerk thanked Officer Huffman and the Police Department for the active shooter training they held with the Junior Council.

MOTION by Councilman Hughes to approve the Daphne High School Homecoming Parade on October 3, 2024 from 6:00 – 8:00pm. Seconded by Councilwoman Phillips.
MOTION CARRIED UNANIMOUSLY.

11. RESOLUTIONS:

2024 – 45 – Resolution Declaring Certain Person Property Surplus and Authorizing the Mayor to Dispose – 2006 Ford E150 Van

2024 – 46 – 2024-G-Transit Passenger Van

MOTION by Councilwoman Conaway to waive the reading of Resolutions 2024-45 and 2024-46.
Seconded by Councilman Goodlin.
MOTION CARRIED UNANIMOUSLY.

MOTION by Councilwoman Conaway to adopt Resolution 2024-45. Seconded by Councilwoman Phillips.
MOTION CARRIED UNANIMOUSLY.

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**MOTION by Councilwoman Conaway to adopt Resolution 2024-46. Seconded by Councilwoman Phillips.
MOTION CARRIED UNANIMOUSLY.**

11. **2ND READ ORDINANCES:**

2024 – 32 – Ordinance to Provide for the Reapportionment of the Seven City Council Districts for the City of Daphne

2024 – 33 – Adopting the Fiscal Year 2025 Budget

**MOTION by Councilman Scott to waive the reading of Ordinance 2024-32. Seconded by Councilwoman Phillips.
MOTION CARRIED UNANIMOUSLY.**

**MOTION by Councilman Scott to adopt Ordinances 2024-32. Seconded by Councilwoman Phillips.
MOTION CARRIED UNANIMOUSLY.**

**MOTION by Councilman Scott to waive the reading of Ordinance 2024-33. Seconded by Councilwoman Conaway.
MOTION CARRIED UNANIMOUSLY.**

**MOTION by Councilman Scott to adopt Ordinance 2024-33. Seconded by Councilman Hughes.
MOTION CARRIED UNANIMOUSLY.**

12. **1ST READ ORDINANCES:**

13. **COUNCIL COMMENTS:**

Councilwoman Conaway thanked Officer Huffman for her information and dedication and thanked Jewel Lawson and Sandy Robinson for their work with Community Spirit Day.

Councilman Coleman said his thoughts and prayers are with Jay Ross and his family.

Councilman Goodlin thanked Officer Huffman for her work.

Councilman Scott said his thoughts and prayers are with Jay Ross and family. He thanked Chief Gulsby and Officer Huffman for their work with the Police Department.

Councilman Hughes thanked Officer Huffman for her work and said his thoughts and prayers are with Jay Ross and his family.

Councilwoman Phillips said her thoughts and prayers are with Jay Ross and his family. She thanked Officer Huffman for her work at the Police Department and in the schools.

Mayor LeJeune thanked the Council for passing the budget and said his thoughts and prayers are with Jay Ross and his family.

Councilman Olen thanked the Police Department for all they do. He said the Community Spirit Day was a great event.

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14. **EXECUTIVE SESSION**

City Attorney certified that the Council should enter into an Executive Session concerning matters of potential litigation. He said it should take 10-15 minutes and the Council should have no reason to vote.

MOTION by Councilman Scott to enter into Executive Session. Seconded by Councilwoman Phillips.

City Clerk called roll.

Councilwoman Conaway	Aye
Councilman Coleman	Aye
Councilman Goodlin	Aye
Councilman Scott	Aye
Councilman Hughes	Aye
Councilwoman Phillips	Aye
Council President Olen	Aye

MOTION CARRIED UNANIMOUSLY.

15. **ADJOURN:**

THERE BEING NO FURTHER BUSINESS TO DISCUSS, COUNCIL ADJOURNED INTO EXECUTIVE SESSION AT 6:57PM.

Respectfully submitted by,

Certification of Presiding Officer,

Candace G. Antinarella, MMC, City Clerk

Steve Olen, Council President

CITY OF DAPHNE
FINANCE COMMITTEE MINUTES
SEPTEMBER 16, 2024
4:30 P.M.

I. CALL TO ORDER/ROLL CALL

The meeting was called to order at 4:30 p.m.

Present were:

Chairperson Mrs. Angie Phillips

Councilwoman Mrs. Tommie Conaway

Councilman Mr. Steve Olen

Councilman Mr. Joel Coleman

Councilman Mr. Ron Scott

Councilman Mr. Ben Hughes

Councilman Mr. Doug Goodlin

Also Present: Mayor Robin LeJeune, Finance Director Mrs. Kelli Reid, Accountant III Mrs. Suzanne Henson, Revenue Officer Mrs. Julie Koptis, Human Resource Director Mrs. Vickie Hinman, City Clerk Mrs. Candace Antinarella, Executive Director of City Development Mr. Troy Strunk, Fire Chief Mrs. LeAnn Tacon, Director of Events and Marketing Mrs. Ange Baggett, Marketing Coordinator Kara Wilbourn, Public Works Director Mr. Ronnie Huskey, and City Attorney Mr. Patrick Dungan.

Junior City Council – Schuyler Smith and Dareon Maynard.

II. PUBLIC PARTICIPATION

There was no public participation.

III. APPROVE MINUTES FOR THE PREVIOUS MEETING

The previous meeting minutes were approved.

IV. HUMAN RESOURCES BUSINESS

A. Update on Human Resources Department Activity

Mrs. Vickie Hinman reviewed the Human Resources Report:

- Posted/Reposted Positions – 4
- Reviewing/Testing/Interviewing/Background check - 17
- Promotion/Internal Transfer - 2
- New Hires – 6

Mrs. Hinman reviewed the monthly Safety Committee meeting topics and discussed other Human Resources projects and events.

- September Safety: - Distracted Driving Awareness and Safety Coordinator is meeting with Supervisors/Directors at City facilities.
- Other HR Projects: Supervisor Training: 08/28/2024 – 08/29/2024; 09/05/2024 – 09/06/2024 and Input of all Employee Benefit Changes: 09/01/2024 – 09/30/2024 .

V. BUSINESS LICENSE REPORT

A. Report: New Business Licenses – August, 2024

Mrs. Koptis reviewed the following reports and information:

- Code enforcement issued 1 warning resulting in businesses becoming compliant and \$170 in revenue.
- New Businesses with a physical location in Daphne -50
- Simplified Sellers Use Tax collections - \$183,561.29 and YTD collections - \$2,045,434.05
- Total Business Licenses issued were 50 new and 26 renewals for a total of 76 in August 2024

VI. SALES & LODGING TAX REPORT

A. Sales and Use Taxes: July, 2024

Mrs. Henson reviewed the Sales & Use Tax Reports: \$2,294,362.38 was collected for July, 2024 which was up \$20,701.79 from July 2023's collections:

- YTD Variance over Budget - \$1,778,159.12

B. Lodging Tax Collections, July, 2023

Mrs. Henson reviewed the Lodging Tax Collections Report and noted the collections for July, 2024 were \$191,319.90 which is down (\$19,120.09) from July 2023's collections.

- YTD Variance over Budget - (\$ 9,102.09)

Discussion was made concerning Lodging Tax being down in July. Mr. Coleman noted he thinks Lodging Tax being down is just due to the economy.

C. Lodging Tax Analysis Report, August, 2024

Mrs. Reid reviewed the Lodging Tax Analysis report:

- Recreation balance for related purchases - \$744,599.67
- Unreserved balance for Bayfront related purchases - \$1,537,795.08
- Reserved balance for Occupancy Fee - \$91,715.50

VII. FINANCIAL SCHEDULES & REPORTS

A. Financial Reports

1. Treasurer's Report: August, 2024

Mrs. Reid reviewed the Treasurer's Report:

TREASURER'S REPORT					
As of August 31, 2024					
Account Type/Title	8/31/2024	7/31/2024	Increase (Decrease) from last Month	8/31/2023	Increase (Decrease) from Last Year
GENERAL FUND & ENTERPRISE FUNDS					
Major	\$ 14,452,818	\$ 14,681,699	\$ (228,881)	\$ 14,573,959	\$ (121,141)
INVESTMENT FUND Charles	10,891,742	10,802,906	88,836	10,223,710	\$ 668,032
Total Unrestricted Cash Balance	25,344,560	25,484,605	(140,045)	24,797,669	546,891
SPECIAL REVENUE FUNDS					
4 CENT GAS TAX	329,329	324,170	5,159	264,856	64,473
7 CENT GAS TAX	336,781	330,251	6,530	239,747	97,034
10 CENT GAS TAX	359,938	340,949	18,989	138,749	221,189
TREE & FLOWER	10,287	10,287	-	22,660	(12,373)
COVID RELIEF FUND	-	-	-	637,613	(637,613)
ANIMAL SHELTER FUND	269,431	261,734	7,697	2,145,367	(1,875,936)
MOBILE INFIRMARY BUILDING	94,232	89,406	4,826	37,776	56,456
FEDERAL DRUG FORFEITURES	312,516	314,516	(2,000)	195,187	117,329
LOCAL DRUG FORFEITURES	95,515	95,435	80	91,843	3,672
LIBRARY	74,504	78,391	(3,887)	45,763	28,741
COURT TRAINING & EQUIPMENT	42,175	42,129	46	41,420	755
COURT/CORRECTION	515,437	528,841	(13,405)	571,214	(55,777)
LODGING TAX	2,374,110	2,304,980	69,130	3,575,609	(1,201,499)
AGENCY FUNDS					
SELF INSURANCE	231,536	233,801	(2,265)	229,267	2,269
OPEB TRUST INVESTMENT FUND	1,618,840	1,593,628	25,212	1,213,731	405,109
	6,664,632	6,548,519	116,113	9,450,802	(2,786,170)
CAPITAL PROJECT FUNDS					
CAPITAL RESERVE	4,414,440	5,527,816	(1,113,377)	4,342,163	72,277
2023 CONSTRUCTION FUND	7,473,759	7,558,041	(84,281)	-	7,473,759
	11,888,199	13,085,857	(1,197,658)	4,342,163	7,546,036
DEBT SERVICE FUNDS					
DEBT SERVICE	205,070	(73,271)	278,342	218,673	(13,603)
Total Restricted Cash Balance	18,757,901	19,561,105	(803,204)	14,011,638	4,746,263
Total City Cash Balance	\$ 44,102,461	\$ 45,045,710	\$ (943,248)	\$ 38,809,307	\$ 5,293,155
Encumbrance Total as of			8/31/2024	\$ 36,147.86	

Mrs. Reid noted the Investment account is up \$668,032 over last year for August and the OPEB account is up \$405,109 from last August. Mrs. Reid also noted that the Capital Reserve Fund is down due to spending on projects.

The Treasurer's Report as of August, 2024 Total Unrestricted Cash Balance - \$25,344,560 and Total City Cash Balance - \$44,102,461 was presented to be filed for audit.

2. Encumbrance Report

- Encumbrance balance - \$36,147.86 as of August, 2024.

Mrs. Reid reviewed the Encumbrance Report and noted there are only two line items on the report: Bayfront Masterplan and the ADA Transition Project.

3. Outstanding Appropriations

Mrs. Reid reviewed the Outstanding Appropriations report.

4. Financial Overview: Debt Summaries & Monthly Financial Statements

Mrs. Reid reviewed the following Financial Statements:

- Debt Summary Schedules (General & Enterprise Funds), August, 2024
 - o Outstanding Warrant Balance as of August, 2024: \$30,808,902
 - o Outstanding Capital Lease Balance as of August, 2024:
 - General Fund: \$431,121
 - Enterprise Fund: \$456,003
- Monthly Financial Statements, July 2024
 - o General Fund YTD Budgetary Net Income: \$1,868,556 which is less (\$709,963) than the prior YTD net income
 - o Solid Waste Fund Transfers \$556,123
 - o Civic Center Fund Transfers \$445,459

5. Overtime Report YTD

Mrs. Reid reviewed the Overtime Report.

6. Summary of Budgetary Amendments

Mrs. Reid reviewed the General Fund budgetary amendments made to the FY2024 Budget.

- Total Appropriations Year to Date – \$6,358,947
- Adjusted Expenses over Revenue – (\$6,356,766)

7. Unfunded Future Projects Expenditure Summary

Mrs. Reid reviewed the Unfunded Future Projects Expenditure Summary. Discussion was made that the big projects are the courtroom re-design, amphitheater, and Olde Town upgrades.

B. Bills Paid Reports – August, 2024

The Bills Paid Report was previously presented electronically.

VIII. BIDS & APPROPRIATIONS (Resolution)

A. 2024-RFQ- Safe Streets For All (SS4A) Comprehensive Safety Action Plan For The City of Daphne

Mrs. Reid discussed the professional services required for the production of a Comprehensive Safety Action Plan for the City of Daphne. Mrs. Reid noted that the City received a Federal Grant (FHWA-Federal Highway Administration) in the amount of \$160,000 (with a \$40,000 City match) for this study. Mr. Strunk noted this RFQ is a required step for obtaining grant funding in most cases.

MOTION BY Mr. Coleman to recommend to Council to award the 2023-RFQ-Safe Streets for All (SS4A) Comprehensive Safety Action Plan For The City of Daphne for engineering services to Neel-Schaffer. Seconded by Mr. Scott.
MOTION CARRIED UNANIMOUSLY

B. 2024-G-TRANSIT PASSENGER VAN

A recommendation letter from Mr. Huskey to award the bid (\$56,000) to the low bidder Buster Miles Ford, Inc. was included in the packet. Mrs. Reid noted that this award resolution is on the Council agenda tonight so that this vehicle can be ordered and closed out before yearend.

MOTION BY Mrs. Conaway to recommend to Council to award the 2024-G-Transit Passenger Van bid in the amount of \$56,500 to Buster Miles Ford, Inc as bid. Seconded by Mr. Hughes.
MOTION CARRIED UNANIMOUSLY

C. 2024-H-PARK CHEMICALS

A recommendation letter from Mr. McDavid to award the Park Chemicals bid to Harrell's LLC for unit cost bid was included in the packet. Discussion continued on the bid submittals.

MOTION BY Mr. Hughes to recommend to Council to award the 2024-H-Park Chemicals bid to Harrell's LLC for unit cost bid. Seconded by Mr. Scott.
MOTION CARRIED UNANIMOUSLY

IX. OTHER APPROPRIATION REQUESTS: (Resoltuion/Ordinance)

There were no appropriations discussed.

X. SURPLUS

A. 2006 F350 Crew Cab Truck-V#1805 and 2014 Carolina Skiff-Recovery #4 – Donate to Daphne Search & Rescue

Mrs. Reid noted that for years there were always City employees on the roster but currently there are not any City employees leading Search and Rescue so there is no way to make sure City procurement procedures are being followed. Mrs. Reid noted the City will budget for a donation to be made to Search and Rescue instead of their organization having an annual City budget. Mrs. Henson noted that Chief Tacon has checked with Search and Rescue and there are no City Logos on the equipment so nothing needs to be removed from the vehicle/equipment.

MOTION BY Mr. Hughes to recommend to Council to declare certain property surplus and authorize the Mayor to donate the following surplus property to the Daphne Search & Rescue: 2006 F350 Crew Cab Truck-V#1805 and 2014 Carolina Skiff-Recovery #4. Seconded by Mr. Goodlin.
MOTION CARRIED UNANIMOUSLY

B. 2006 Ford E150 Van-V#1128

The request to declare the 2006 Ford E150 Van-V#1128 was included in the packet. Mrs. Henson noted this resolution will be on the agenda of the Council meeting tonight so that the vehicle can be sold and removed from fixed asset reporting for this fiscal year.

MOTION BY Mr. Scott to recommend to Council to declare certain property surplus and authorize the Mayor to dispose of the following surplus property: 2006 E150 Van - V#1128. Seconded by Mrs. Conaway.
MOTION CARRIED UNANIMOUSLY

XI. OLD BUSINESS

A. Motion to offer City Engineer position above midpoint.

Mrs. Reid noted a motion is needed in order to offer City Engineer position above midpoint. Mrs. Reid noted that someone will need to make this motion at tonight's Council meeting as well.

MOTION BY Mr. Olen to offer the City Engineer position above midpoint salary range. Seconded by Mr. Scott.
MOTION CARRIED UNANIMOUSLY

XII. NEW BUSINESS

There was no new business discussed.

XIII. ADJOURN The meeting adjourned at 5:22 p.m.

Daphne Downtown Redevelopment Authority
Jubilee Conference Room
Daphne Alabama
Thursday, July 18, 2024
Meeting Minutes

Attendees: Daphne Robinson, Chairperson; Monica Kurth, Vice Chair; Dayna Oldham, Treasurer; Jason Goffinet, Member; Laura Johnson, Member; Tommie Conaway, Council Liaison; Steve Olen, Councilman;

Absent: Pamela Marks, Member; Shawn Mitchell, Member
Troy Strunk, Executive Director of City Development and Jessica Linne, Asst. City Clerk

- A. Call to Order: 5:30 p.m.
 - a. Prayer/Pledge of Allegiance
 - b. Member present roll Sheet / Greet Public Participants
 - c. Approve minutes
 - a. Motion to approve June minutes as submitted by Dayna, Jason seconds, all in favor, motion passes
- B. Public Participation
 - a. Larry Chason in attendance, no comments or inquiries
- C. Treasurer Report
 - a. Funds available of \$96,288.30 and Dayna will review pending renewal of CDs with bank
- D. City Council update
 - a. Preparing for upcoming public meeting on redistricting
- E. Committee Progress Reports
 - a. Website and Social Media Pages: Monica Kurth
 - a. No new update
 - b. Directional signs: Dayna Oldham
 - a. Exploring existing ordinances
 - c. Lea Avenue Development: (tabled) Daphne Robinson
 - d. Main Street Development: Daphne Robinson
 - a. Bryant Bank provided a lower revised rate of 7.19% down from 7.33%
- F. New Business
 - a. Next meeting: **Thursday September 19, 2024**
 - 1. Minutes and agenda to be emailed no later than Tuesday September 17th
 - 2. Agenda items are due the Monday prior to scheduled meeting.
 - b. Adjourn

**COMMUNITY DEVELOPMENT
INTERNAL MEMORANDUM**



DATE: September 30, 2024
TO: Office of the City Clerk
FROM: Adrienne Jones, AICP, Director of Community Development
SUBJECT: Planning Commission Minutes and Report

A handwritten signature in blue ink, appearing to be "AJ", located to the right of the "FROM" line.

Attached please find a copy of the approved minutes for the City of Daphne Planning Commission regular meeting of the August 22, 2024 and the report of the regular meeting of September 26, 2024 for placement on the October 7, 2024 City Council agenda for review.

Should you have any questions or comments in this regard, please do not hesitate to call.

ADJ/jv

**The City of Daphne
Planning Commission Minutes
Regular Meeting of August 22, 2024
Council Chamber, City Hall - 5:00 P.M.**

Call to Order:

The Chairman called the regular meeting of the City of Daphne Planning Commission to order at 5:00 p.m. The number of members present constitutes a quorum.

Call of Roll:

Members Present:

Kevin Spriggs, Secretary
Ronnie Huskey
Adam Manning
Oliver Roberts
John Peterson, Vice Chairman
Andrew Prescott, Chairman
Richard Johnson
Steve Olen
Nathan Jones

Staff Present:

Adrienne Jones, AICP, Director of Community Development
Jan Vallecillo, Planning Coordinator
Patrick Dungan, Attorney
Troy Strunk, Executive Director, City Development
Jesi Ward, Environmental Programs Manager

The Chairman asked for input regarding the July 25, 2024 regular meeting minutes presented by staff. There being none, minutes stand approved as submitted.

The Chairman explained that the order of the agenda has been rearranged to allow the following: **Kia of Daphne Planning Approval, Pomierski Residence Wetland Buffer Modification, and The Croft of Daphne Second Extension**, to be the first items discussed tonight.

The Chairman called for the next order of business: **Kia of Daphne Planning Commission Approval.**

An introductory presentation was given by the agent, Dobbson Vickers. He provided a summary of a request for Planning Commission approval as presented on the meeting agenda. He stated that Kia of Daphne is requesting Planning Commission Approval of a parking lot and/or storage area in a B-2, General Business, zone located south of Frederick Boulevard and Renaissance Boulevard and due west of Planet Fitness.

Hearing no comments from the commissioners, the Chairman called for a motion.

A motion was made by Mr. Spriggs and seconded by Mr. Huskey to grant Planning Commission Approval to Kia of Daphne. There was no discussion. The motion carried unanimously.

The Chairman called for the next order of business: a request for a modification to a wetland buffer for the Pomierski Residence.

An introductory presentation was given by the agent, Chris Lieb. He provided a summary of a request for a modification of the wetland buffer as presented on the meeting agenda. He stated the delineated wetlands have been determined to be non-jurisdictional and noted that the current design includes the installation of a bridge which will allow construction of a residence on the west side of the property and eliminate the impact to the wetlands.

The Chairman asked about the distance of the footings from the residence to the wetlands. Mr. Lieb advised that it will be several feet, and the wetlands will be flagged.

Hearing no comments from the commissioners, the Chairman called for a motion.

A motion was made by Mr. Spriggs and seconded by Mr. Johnson to approve the modification to the wetland buffer for the Pomierski Residence. There was no discussion. The motion carried unanimously.

The Chairman called for the next order of business: a request for a modification to a wetland buffer for the Pomierski Residence.

The Chairman called for the next order of business: a request for a second extension for The Croft of Daphne.

An introductory presentation was given by the agent, Steven Rittle. He provided a summary of a request for approval of a two-year extension of time for the site plan and related site disturbance permit as presented on the meeting agenda.

Hearing no comments from the commissioners, the Chairman called for a motion.

A Motion was made by Mr. Spriggs and Seconded by Mr. Olen to approve a two-year extension of time for The Croft at Daphne site plan and related site disturbance permit. There was no discussion. The Motion carried unanimously.

Ms. Jones provided an overview of the proposed amendments and noted the modifications to the Comprehensive Plan are related to the zoning request associated with Fortuna Investments, LLC, Industrial Development Board and the City of Daphne.

The Chairman opened the floor for public hearing. The floor was closed after no one came forward to speak.

The City of Daphne
Planning Commission Minutes
Regular Meeting of August 22, 2024
Council Chamber, City Hall - 5:00 P.M.

Hearing no comments from the commissioners, the Chairman called for a motion.

A **Motion** was made by Mr. Olen and **Seconded** by Mr. Johnson to **approve an amendment to the Envision Daphne 2042 Comprehensive Plan regarding land located east of the intersection of Champions Way and Innovative Way (PPIN #62557 and 367368) from a Civic/Institutional Placetype to Mixed Use Corridor Placetype. There was no discussion. The motion carried unanimously.**

The Chairman called for the next order of business: Fortuna Investments, LLC, Industrial Development Board and the City of Daphne Zoning Amendment.

An introductory presentation was given by the agent, Drew Dolan. He summarized the rezoning request as presented on the meeting agenda. Mr. Dolan provided a detailed PowerPoint presentation of the proposed PUD. The PUD is fifty-nine point eight-one acres, and includes seven phases, with a mixture of different uses and development types: a corporate office, townhomes, commercial, residential, mixed-use, shared and on-street parking, an enhanced streetscape, public and private open park area and amenities to include pickle ball courts, improvements to Champions Way, and interconnectivity to the Church of the Highlands.

The Chairman opened the floor for public hearing.

Miles Paisant, 9614 Poet's Corner and Canterbury Place POA President, commented about the effect on the school, traffic, and requested a fence be installed along Champions Way to be a buffer between the rear facing businesses and Canterbury Place Subdivision.

Sam Ledbetter, 9630 Canterbury Road, commented about traffic, transient services and a hotel near a school, and noted this is a development for an urban not rural area.

Collin Sherman, 9597 Sherwood Court, commented about traffic, drainage, lighting, hours of operation, building height, and who will bears the cost of the development.

Tom Neyhart, 28644 Canterbury Road, commented about traffic and speeding on Champions Way.

Chris Colter, 24864 Smarty Jones, commented about 68 Venture, infrastructure improvements, access points, and effect on the school and hospital.

The Chairman closed the floor to the public hearing and offered the agent the opportunity for rebuttal.

During rebuttal, Mr. Dolan noted that Champions Way will have a double fronted streetscape as a buffer for the residential neighborhood; the townhome development has sidewalks, a fence, and walking trails; traffic improvements to Champions Way will be designed in accordance with the recommendation of the traffic impact study.

**The City of Daphne
Planning Commission Minutes
Regular Meeting of August 22, 2024
Council Chamber, City Hall - 5:00 P.M.**

Mr. Dolan advised that full engineering plans in compliance with the regulations would be presented to address drainage and provide detention; and, the development will have an in-house ARB to ensure compliance to the covenants.

Mr. Spriggs commented about the streetscape. Mr. Jinright commented that the best view along Alabama Highway 181 is the inner part of the development.

Hearing no further comments from the commissioners, the Chairman called for a motion.

A motion was made by Mr. Olen and seconded by Mr. Johnson to table Fortuna Investments, LLC, Industrial Development Board and the City of Daphne Zoning Amendment to the September 26, 2024 Regular Planning Commission meeting. There was no discussion. The motion carried unanimously.

The Chairman called for the next order of business: AMERCO Real Estate Company Zoning Amendment, U-Haul Moving and Storage of Daphne Planning Commission Approval and Site Plan Review.

An introductory presentation was given by the agent, Melissa Hadley. He provided a summary of the rezoning request, request for Planning Commission Approval and Site Plan Review as presented on the meeting agenda.

Mrs. Hadley provided an overview for the proposed zoning of the site, proposed uses for the site, plan revisions and updated overall "use map".

The Chairman asked about the sidewalk to the east. Mr. Strunk advised that is a part of a city project.

The Chairman asked for staff comments. Ms. Jones advised that staff comments have been addressed.

Mr. Olen provided timeline from initial presentation for rezoning, Planning Commission approval, and site plan to present and noted that a retail business for the rental of pods is not a mini warehouse facility.

The Chairman opened the floor for public hearing. The floor was closed after no one came forward to speak.

Hearing no further comments from the commissioners, the Chairman called for a motion.

A motion was made by Mr. Spriggs and seconded by Mr. Peterson to set forth a favorable recommendation to City Council to rezone the subject property to B-2, General Business. There was no discussion.

Upon roll call vote,

The City of Daphne
Planning Commission Minutes
Regular Meeting of August 22, 2024
Council Chamber, City Hall - 5:00 P.M.

Mr. Spriggs	Aye
Mr. Huskey	Nay
Mr. Manning	Nay
Mr. Peterson	Nay
Mr. Prescott	Aye
Mr. Roberts	Aye
Mr. Johnson	Aye
Mr. Olen	Nay
Mr. Jones	Aye

The vote was five in favor and four opposed. The motion failed.

The Chairman opened the floor for public hearing. The floor was closed after no one came forward to speak.

Hearing no further comments from the commissioners, the Chairman called for a motion.

A motion was made by Mr. Spriggs and seconded by Mr. Johnson to grant Planning Commission Approval for a mini-warehouse and/or storage facility. There was no discussion. The motion carried unanimously.

A motion was made by Mr. Spriggs and seconded by Mr. Jones to approve the site plan for U-Haul Moving and Storage of Daphne. There was no discussion.

Upon roll call vote,

Mr. Spriggs	Aye
Mr. Huskey	Nay
Mr. Manning	Nay
Mr. Peterson	Aye
Mr. Prescott	Aye
Mr. Roberts	Aye
Mr. Johnson	Aye
Mr. Olen	Nay
Mr. Jones	Aye

The vote was six in favor and three opposed. The motion carried.

The Chairman called for the next order of business: public participation.

The Chairman opened the floor for public participation.

None presented.

The Chairman called for the next order of business: attorney's report.

Mr. Dungan had no report.

The Chairman called for the next order of business: commissioner's comments.

None presented.

**The City of Daphne
Planning Commission Minutes
Regular Meeting of August 22, 2024
Council Chamber, City Hall - 5:00 P.M.**

The Chairman called for the next order of business: director's comments.

Director presented the upcoming meeting dates: Site Preview is September 18th and Regular Meeting is September 26, 2024.

There being no further business, the meeting was adjourned at 7:00 p.m.

Respectfully submitted by:


Jan Vallecillo, Planning Coordinator

Approved: September 26, 2024


Andrew Prescott, Chairman

**CITY OF DAPHNE
PLANNING COMMISSION AGENDA
REGULAR MEETING OF SEPTEMBER 26, 2024
COUNCIL CHAMBERS, CITY HALL - 5:00 P.M.**

Report



1. **CALL TO ORDER:** 5:05 p.m.
2. **CALL OF ROLL:** Andrew Prescott, John Peterson, Kevin Spriggs, Richard Johnson, Ronnie Huskey, Adam Manning, and Oliver Roberts
3. **APPROVAL OF MINUTES:**

Review of minutes of the regular meeting of August 22, 2024. (**Approved**)
4. **OLD BUSINESS:**
 - A. **FORTUNA INVESTMENTS, LLC, INDUSTRIAL DEVELOPMENT BOARD AND THE CITY OF DAPHNE ZONING AMENDMENT:**
 1. File ZA24-03: (**Favorable recommendation to City Council**)

Applicant: Fortuna Investments, LLC, Industrial Development Board and the City of Daphne

Present Zoning: *B-3, Professional Business*

Proposed Zoning: *PUD, Planned Unit Development*

Location: Southwest of Champions Way and Alabama Highway 181
Area: 59.81 Acres $\pm$
Agent: Jade Consulting - Trey Jinright
Architect: Nequette Architecture - Jared Calhoun
Developer: 68 Ventures - Cameron Thatcher
Owner: Fortuna Investments, LLC, Industrial Development Board and the City of Daphne
5. **NEW BUSINESS:**
 - A. **OAK GROVE, PHASE ONE PLANNING APPROVAL:**
 1. File AP24-12: (**Approved**)

Presentation to be given by Jason Wooten, Wooten Engineering, to request Planning Commission approval of a low pressure system in lieu of the approved gravity sewer system. Reference LUDO Section 11-13(a) (2).
 - B. **EAST FISH RIVER, LLC ZONING AMENDMENT:**
 1. CPA24-04: (**Motion failed**)

Presentation to be given by Austin Lutz, Engineering Design Group, requesting that the Planning Commission consider an amendment to the Envision Daphne 2042 Comprehensive Plan:
 - (a) Land located five hundred feet northeast of the intersection of County Road 64 and Dixon Lane (PPIN# 27122, 26, 252259 and 27121) from:

Present Placetype: Estate Residential, to

Proposed Placetype: Suburban Neighborhood and Natural Areas/
Open Space

**CITY OF DAPHNE
PLANNING COMMISSION AGENDA
REGULAR MEETING OF SEPTEMBER 26, 2024
COUNCIL CHAMBERS, CITY HALL - 5:00 P.M.**

Report

2. File ZA24-05: (Tabled until the regular meeting of October 24, 2024)
- Applicant: East Fish River, LLC
- Present Zoning: *R-1, Low Density Single Family Residential*
- Proposed Zoning: *PUD, Planned Unit Development*
- Location: Five hundred feet northeast of the intersection of County Road 64 and Dixon Lane
- Area: 510.17 Acres $\pm$
- Agent: Engineering Design Group - Austin Lutz or Clay Moore
- Developer: Gaskin Banks - Todd Malphrus
- Owner: East Fish River, LLC - Richard Inge

C. ROWAN OAK MASTER PLAN REVIEW:

1. File MPR24-03: (Approved)

Presentation to be given by Chloe Kelly, 68 Ventures, requesting master plan review of Rowan Oak.

D. HOPE VINEYARD, PHASE 2 PRELIMINARY PLAT REVIEW:

1. File AP24-13: (Not applicable)

~~Presentation to be given by Cathy Barnette, Dewberry, of a request for a modification to a stream buffer.~~

2. File SDP24-01: (Approved)

Subdivision: Hope Vineyard, Phase 2

Zoning: *R-6(G), Garden or Patio Home*

Location: East of County Road 13

Area: 44.11 Acres $\pm$, (73) lots

Owner: Hope Vineyard Partners, L.L.C.

Surveyor: Dewberry - Victor Germain

Agent: Dewberry - Cathy Barnette

Engineer: Dewberry - Jason Estes

E. BAYFRONT PARK MASTER PLAN REVIEW, MODIFICATION AND WAIVER TO WETLAND BUFFER AREAS AND BAYFRONT PARK EXPANSION & IMPROVEMENTS PLAN REVIEW:

1. File MPR24-04: (Approved)

Presentation to be given by Cathy Barnette, Dewberry, requesting master plan review of Bayfront Park.

2. File AP24-14: (Approved)

Presentation to be given by Cathy Barnette, Dewberry, of a request for a modification and waiver of wetland buffer areas.

**CITY OF DAPHNE
PLANNING COMMISSION AGENDA
REGULAR MEETING OF SEPTEMBER 26, 2024
COUNCIL CHAMBERS, CITY HALL - 5:00 P.M.**

Report

3. File SP24-07: (Approved)

Site: Bayfront Park Expansion and Improvements Plan

Zoning: B-2, General Business

Location: Northwest of Bayfront Drive and U.S. Highway 98

Area: 16.8 Acres ±

Owner: City of Daphne - Mayor Robin LeJeune

Agent: Dewberry - Cathy Barnette

Engineer: Dewberry - Andy Bobe

F. ELECTION OF 2024-2025 OFFICERS Andrew Prescott, Chairman, John Peterson, Vice Chairman, and Kevin Spriggs, Secretary.

6. PUBLIC PARTICIPATION: None presented.

7. ATTORNEY'S REPORT: No report.

8. COMMISSIONER'S COMMENTS: None presented.

9. DIRECTOR'S COMMENTS: Mr. Strunk announced that Andy Bobe is the "new" City Engineer.

10. ADJOURNMENT: 6:42 p.m.

Accepted by:


Chairman, Daphne Utilities



APPROVED MINUTES

Utilities Board Meeting

Council Chambers, Daphne City Hall ♦ August 28, 2024 ♦ 5:00 p.m.

I. Call to Order

The regular August 2024 Board meeting for the Utilities Board of the City of Daphne was held on August 28, 2024, in the Council Chambers at Daphne City Hall and called to order at 5:01 p.m. by Chairwoman Selena Vaughn, followed by the Roll Call:

II. Roll Call

Members Present: Selena Vaughn, Chairwoman
Tim Patton, Vice Chairman
Billy Mayhand, Secretary/Treasurer
Councilman Joel Coleman, Board Member

Members Absent: Mayor Robin LeJeune, Board Member

Others Present: Jerry Speegle – Board Attorney
Scott Polk – General Manager
Bobby Purvis – Operations Manager
Lexus Carlee – Finance Manager
Samantha Coppels – Communications Manager
Lori Wilson – Executive Assistant

Others Absent: Alex Godfrey – Administrative Services Manager

III. Pledge of Allegiance

The Chairwoman led the Board and meeting attendees in the Pledge of Allegiance.

IV. Approval of Minutes

Utilities Board Meeting Minutes July 31, 2024

The Chairwoman requested any additions, corrections, or deletions for the submitted minutes of the regular Daphne Utilities Board meeting of July 31, 2024.

With no additions, deletions or corrections, the Chairwoman declared that the submitted minutes of the regular Daphne Utilities Board meeting of July 31, 2024, would stand approved.

V. OLD BUSINESS –

A. None

VI. NEW BUSINESS –

A. Proposed FY24/25 Budget and Capital Improvement Plan (Board Action – MOTION to Approve)

Chairwoman Vaughn proposed delaying budget agenda item until the Mayor's arrival and moved on with the agenda.

VII. BOARD ATTORNEY'S REPORT

Board Attorney Jerry Speegle had nothing to add to his submitted report for this month but commented that nothing was happening with the recent lawsuit except waiting on response to discovery.

VIII. FINANCIAL REPORT

Finance Manager Lexus Carlee highlighted for the Board: total assets, money market account interest earnings, year-to-date revenue, expenses, yearly total net income and monthly net income, departmental monthly budgetary performances, and concluded with an explanation of two checks on the Check History report.

IX. GENERAL MANAGER'S REPORT

A. GM Report

CEO/GM Scott Polk highlighted for the Board: a check that was written for the center flow-screen for the headworks that will be posted in this year that was questioned during the budget work session; the budget as submitted is ready to be approved at the Board's discretion; the Strategic Plan is in the final touches making it more user-friendly hoping to distribute the final draft to the Board in the coming weeks; Well #15, ADEM has approved our testing variance, we continue moving forward putting things in place & installed; began drilling a test well off of Douglas Road near the vicinity of the storage tank with the idea that if there is usable water at this location, it could be treated and put into the north part of the Daphne Utilities' system which is usually the most strained part of our system due to irrigation; we are still waiting and working with ADEM on an updated ARPA agreement – Melinda Immel with Volkert gave an update on the status of this; we have been contacted by the State to move up our timeline for our sewer relocation on AL225, from 12 months to 9 months; announcement by the Governor of two GOMESA grants totaling \$945,000, with Daphne Utilities 10% match of those funds to install permanent by-pass at six lift-stations located in critical areas; and concluded with the water reclamation facility win of NACWA's Peak Performance Gold Award for the Year 2023. Vice Chairman Tim Patton mentioned an article on AL.com regarding fluoride and the dental associations promotion of that practice.

B. Operations Report

COO Bobby Purvis complimented Samantha Coppels for her attentiveness for the company's health fair. He continued mentioning that Fairhope reached out to Daphne Utilities needing some water, however we were not able to help them after Water Quality Manager, Larry English, alerted several weeks' prior of abnormal water usage and was then discovered by a resident near Essex Street at CR64. He gave kudos to Larry English and explained why Daphne Utilities was unable to assist Fairhope Utilities with their water needs at the time. He noted that Daphne Utilities is pushing 5mil gallons per day, which is high, but maintaining and recovering overnight.

He stated that on September 4th, Daphne Utilities would be installing the ATS switch that was not expected until next year, involving departments working night operations that will have storage in the field filling up at high level at several lift stations during this time, with limited flow at the plant and estimating 4-6 hours with 8 hours of storage.

Mr. Purvis announced that Mr. Kam Mitchell passed his Natural Gas Journeyman's test on his first attempt. He also mentioned that the Water Quality department also received some awards, even though they typically receive it every year because they take pride in their locations and are very clean.

C. Engineering & Consulting Reports – nothing to add to the submitted reports

Chairwoman Vaughn proposed returning to the New Business - Proposed FY24/25 Budget and Capital Improvement Plan and called for any questions, with no questions she called for a Motion.

MOTION by Vice Chairman Tim Patton to approve the Proposed FY24/25 Budget and Capital Improvement Plan as submitted.

Mr. Patton inquired as to the percentage amount of growth; Mr. Scott Polk responded that there is an 8% increase in sewer and a 5% increase in water, which is the third year of the three-year approved rate increases that took place several years ago.

Motion was Seconded by Secretary/Treasurer Billy Mayhand.

AYE: Coleman, Mayhand, Patton **NAY:** **ABSENT:** LeJeune **ABSTAIN :** Vaughn

MOTION CARRIED

X. BOARD ACTION – previously addressed.

XI. PUBLIC PARTICIPATION – At 5:19pm, Chairwoman Vaughn noted that there was no one present for public participation.

XII. BOARD COMMENTS –

Councilman Joel Coleman had no comment.

Mr. Billy Mayhand thanked the staff for the pictures and updates on a good-looking group of people.

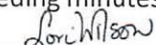
Mr. Tim Patton thanked staff for their efforts with the budgets and awards.

XII. ADJOURNMENT

With no additional comments, the Chairwoman Vaughn called for a motion to adjourn the meeting. Mr. Billy Mayhand made the Motion to Adjourn.

The meeting adjourned at 5:21 pm.

Preceding minutes submitted to the Daphne Utilities Board by:



Lori Wilson, Executive Assistant, Daphne Utilities



STATE OF ALABAMA
ALCOHOLIC BEVERAGE CONTROL BOARD
ALCOHOL LICENSE APPLICATION



Confirmation Number: 20240820094910365

Type License: 011 - LOUNGE RETAIL LIQUOR - CLASS II (PACKAGE) State: County:

Type License: 990 - TOBACCO ONLY State: County:

Trade Name: **LEGACY SPIRITS 2**

Filing Fee:

Applicant: **SAI BLESSINGS LLC**

Transfer Fee: \$50.00

Location Address: **28600 US HIGHWAY 98; UNIT G DAPHNE, AL 36526**

Mailing Address: **28600 US HIGHWAY 98; UNIT G DAPHNE, AL 36526**

County: BALDWIN Tobacco sales: YES

Tobacco Vending Machines: 0

Product Type: 03

Type Ownership: LLC

Book, Page, or Document info: 2019026841

Do you sell Draft Beer?:

Date Incorporated: 05/02/2024 State incorporated: AL

County Incorporated: BALDWIN

Date of Authority: 05/02/2024

Federal Tax ID: 99-2852421

Alabama State Sales Tax ID: R010474521

Name:	Title:	Date and Place of Birth:	Residence Address:
DIVYESH JAYANTIL PATEL 9562545 - AL	VICE PRESIDENT	12/22/1974 INDIA	6168 CHARLESTON CT SARALAND, AL 36571
YOGESHWARIBEN PATEL 8787936 - AL	PRESIDENT	01/31/1984 INDIA	7343 SAYBROOK BLVD MOBILE, AL 36619

Has applicant complied with financial responsibility ABC RR 20-X-5-.14? YES

Does ABC have any actions pending against the current licensee? NO

Has anyone, including manager or applicant, had a Federal/State permit or license suspended or revoked? NO

Has a liquor, wine, malt or brewed license for these premises ever been denied, suspended, or revoked? NO

Are the applicant(s) named above, the only person(s), in any manner interested in the business sought to be licensed? YES

Are any of the applicants, whether individual, member of a partnership or association, or officers and directors of a corporation itself, in any manner monetarily interested, either directly or indirectly, in the profits of any other class of business regulated under authority of this act? NO

Does applicant own or control, directly or indirectly, hold lien against any real or personal property which is rented, leased or used in the conduct of business by the holder of any vinous, malt or brewed beverage, or distilled liquors permit or license issued under authority of this act? NO

Is applicant receiving, either directly or indirectly, any loan, credit, money, or the equivalent thereof from or through a subsidiary or affiliate or other licensee, or from any firm, association or corporation operating under or regulated by the authority of this act? NO

Contact Person: YOGESHWARIBEN PATEL

Business Phone: 251-513-0484

Fax:

Home Phone: 251-513-0484

Cell Phone: 251-348-9191

E-mail: DIVPATEL29@YAHOO.COM

PREVIOUS LICENSE INFORMATION:

Trade Name: KATHYS PACKAGE STORE

Applicant: LANE BECKNER LLC

Previous License Number(s)

License 1: 010754002

License 2: 010754002



STATE OF ALABAMA
ALCOHOLIC BEVERAGE CONTROL BOARD
ALCOHOL LICENSE APPLICATION



Confirmation Number: 20240820094910365

If applicant is leasing the property, is a copy of the lease agreement attached? **YES**

Name of Property owner/lessor and phone number: JPSC LLC 251-680-9809

What is lessors primary business? **REAL ESTATE**

Is lessor involved in any way with the alcoholic beverage business? **NO**

Is there any further interest, or connection with, the licensee's business by the lessor? **NO**

Does the premise have a fully equipped kitchen? **NO**

Is the business used to habitually and principally provide food to the public? **NO**

Does the establishment have restroom facilities? **YES**

Is the premise equipped with services and facilities for on premises consumption of alcoholic beverages? **NO**

Will the business be operated primarily as a package store? **YES**

Building Dimensions Square Footage: **3600** Display Square Footage: **3600**

Building seating capacity: **0** Does Licensed premises include a patio area? **NO**

License Structure: **SHOPPING CENTER** License covers: **OTHER**

Number of licenses in the vicinity: **0** Nearest: **0**

Nearest school: Nearest church: Nearest residence: **0 blocks**

Location is within: **CITY LIMITS** Police protection: **CITY**

Has any person(s) with any interest, including manager, whether as sole applicant, officer, member, or partner been charged (whether convicted or not) of any law violation(s)? **NO**

Name:	Violation & Date:	Arresting Agency:	Disposition:



STATE OF ALABAMA
ALCOHOLIC BEVERAGE CONTROL BOARD
ALCOHOL LICENSE APPLICATION
Confirmation Number: 20240820094910365



Initial each

☐ DP
☐ DP

In reference to law violations, I attest to the truthfulness of the responses given within the application.

In reference to the Lease/property ownership, I attest to the truthfulness of the responses given within the application.

☐ DP

In reference to ACT No. 80-529, I understand that if my application is denied or discontinued, I will not be refunded the filing fee required by this application.

☐ DP

In reference to Special Retail or Special Events retail license, Wine Festival and Wine Festival Participant Licenses, and Food or Beverage Truck Licenses, I agree to comply with all applicable laws and regulations concerning this class of license, and to observe the special terms and conditions as indicated within the application.

☐ DP

In reference to the Club Application information, I attest to the truthfulness of the responses given within the application.

☐ DP

In reference to the transfer of license/location, I attest to the truthfulness of the information listed on the attached transfer agreement.

☐ DP

In accordance with Alabama Rules & Regulations 20-X-5-.01(4), any social security number disclosed under this regulation shall be used for the purpose of investigation or verification by the ABC Board and shall not be a matter of public record.

☐ DP

The undersigned agree, if a license is issued as herein applied for, to comply at all times with and to fully observe all the provisions of the Alabama Alcoholic Beverage Control Act, as appears in Code of Alabama, Title 28, and all laws of the State of Alabama relative to the handling of alcoholic beverages.

The undersigned, if issued a license as herein requested, further agrees to obey all rules and regulations promulgated by the board relative to all alcoholic beverages received in this State. The undersigned, if issued a license as herein requested, also agrees to allow and hereby invites duly authorized agents of the Alabama Alcoholic Beverage Control Board and any duly commissioned law enforcement officer of the State, County or Municipality in which the license premises are located to enter and search without a warrant the licensed premises or any building owned or occupied by him or her in connection with said licensed premises. The undersigned hereby understands that he or she violate any provisions of the aforementioned laws his or her license shall be subject to revocation and no license can be again issued to said licensee for a period of one year. The undersigned further understands and agrees that no changes in the manner of operation and no deletion or discontinuance of any services or facilities as described in this application will be allowed without written approval of the proper governing body and the Alabama Alcoholic Beverage Control Board.

☐ DP

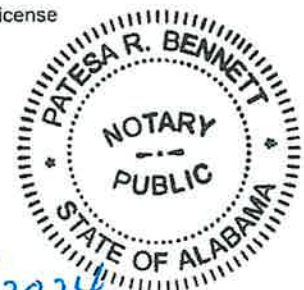
I hereby swear and affirm that I have read the application and all statements therein and facts set forth are true and correct, and that the applicant is the only person interested in the business for which the license is required.

Applicant Name (print): DIWESH JAYANTILAL DATTA

Signature of Applicant: D. Datta

Notary Name (print): Patesa Bennett

Notary Signature: Patesa Bennett



Commission expires: 12/18/2024

Application Taken:

App. Inv. Completed:

Forwarded to District Office:

Submitted to Local Government:

Received from Local Government:

Received in District Office:

Reviewed by Supervisor:

Forwarded to Central Office:



STATE OF ALABAMA
ALCOHOLIC BEVERAGE CONTROL BOARD
ALCOHOL LICENSE APPLICATION



Confirmation Number: 20240820094910365

Private Clubs / Special Retail / or Special Events licenses ONLY

Private Club

Does the club charge and collect dues from elected members?

Number of paid up members:

Are meetings regularly held?

How often?

Is business conducted through officers regularly elected?

Are members admitted by written application, investigation, and ballot?

Has Agent verified membership applications for each member listed?

Has at least 10% of members listed been confirmed and highlighted?

Agent's Initials:

For what purpose is the club organized?

Does the property used, as well as the advantages, belong to all the members?

Do the operations of the club benefit any individual member(s), officer(s), director(s), agent(s), or employee(s) of the club rather than to benefit of the entire membership?

Special Retail

Is it for 30 days or less?

More than 30 days?

Franchisee or Concessionaire of above?

Other valid responsible organization:

Explanation:

Special Events / Special Retail (7 days or less)

Starting Date: Ending Date:

Special terms and conditions for special event/special retail:

Other Explanations

License Covers: SINGLE UNIT



STATE OF ALABAMA
ALCOHOLIC BEVERAGE CONTROL BOARD
Confirmation Number: 20240820094910365



NOTICE OF TRANSFER OF ABC LICENSED BUSINESS

NOTE: A Copy of Operating Agreement Must be Attached To Application

CURRENT LICENSEE:
LANE BECKNER LLC
Address: 28600 US HWY 98; UNIT G
DAPHNE, AL 36526
Telephone: 337-278-9551

NEW APPLICANT:
SAI BLESSINGS LLC
Address: 28600 US HIGHWAY 98; UNIT G
DAPHNE, AL 36526
Telephone: 251-513-0484

Current License No: 010754002
010754002

LICENSED PREMISES ADDRESS: 28600 US HIGHWAY 98 DAPHNE, AL 36526

THE AFORENAMED HEREBY SERVE NOTICE TO THE ABC BOARD OF THE ATTACHED CONTRACTUAL AGREEMENT GOVERNING THE CONTINUATION OF SALES OF ALCOHOLIC BEVERAGES ON THE LICENSED PREMISES.

The Parties to this agreement hereby acknowledge and affirm that the New (Applicant) Licensee will, at all times, act as the AGENT for the Current (Named) Licensee, and the Current Licensee shall act as PRINCIPAL for the purposes of the attached Agreement. The Principal shall be bound by all acts and/or omissions of the Agent in the operation of the licensed premises.

The Current Licensee is now and shall remain liable for any violations of ABC Rules and Regulations or other Alabama Law for the duration of the attached Agreement; and, further, that the Current Licensee has the right and authority, under Alabama Law, to surrender the ABC License to the ABC Board at any time.

The parties acknowledge that the operation of the licensed premises shall remain subject to inspection by ABC Enforcement, and must comply with all State and Local regulations and Laws, and that the local ABC Enforcement District Office must be immediately notified of any change in the attached Agreement.

THE CURRENT LICENSE WILL NOT BE RENEWED.

WITNESS our hands and seals on this the 20 day of Aug, 2024.

CURRENT LICENSEE (NAMED ON LICENSE)

NEW LICENSEE (APPLICANT)

JACK LANE Jack Lane

Print Name:

Title: OWNER

DIWESH JAYANTILAL PATEL

Print Name: SAI BLESSINGS LLC

Title: member

WITNESS: (By ABC Enforcement)
Revised 9/08

BENJAMIN C BARRETT
NOTARY EXPIRES: 10/23/2024



CASE NO. 2024-13

ABC LICENSE ROUTING

DATE RECEIVED BY REVENUE DIV. 9/10/24 ^(initial) CAC

DATE FORWARDED TO POLICE DEPT. 9/10/24 CAC

DATE RECEIVED BY POLICE DEPT. 9/10/2024 KRF

DATE: 9/10/2024 ☒ APPROVED ☐ DISAPPROVED

POLICE DEPT SIGNATURE [Signature]

DATE RETURNED TO REVENUE DIV. 9/10/2024 KRF

DATE FORWARDED TO CITY CLERK 9/10/24 CAC

DATE RECEIVED BY CITY CLERK 9/10/24 JL

SCHEDULED DATE ON AGENDA October 7, 2024 JL

Council Action: ☐ APPROVED ☐ DISAPPROVED ☐ TABLED

COMMENTS: _____

Rescheduled for Council Agenda Date: _____

Council Action: ☐ APPROVED ☐ DISAPPROVED ☐ TABLED

COMMENTS: _____

DATE RETURNED TO REVENUE DIV.: _____

DATE RETURNED TO TAXPAYER _____
OR TO ABC FIELD OFFICE _____ (per taxpayer request)



City of Daphne

Event Permit Application

TYPE OF PERMIT: ☒ Special Event/Fundraiser ☐ Parade/Run (Streets Use) ☐ Walk (Sidewalks Only)
☐ Athletic Complex/Sporting Event ☐ Other: _____

APPLICANT & ORGANIZATION INFORMATION

ORGANIZATION NAME: 68 Ventures and Baller Dream Foundation

APPLICANT NAME: Katherine Seibt

STREET: 707 Belrose Ave. CITY, STATE, ZIP: Daphne, AL 36526

CONTACT PHONE: 251-377-3520 EMAIL: kseibt@68ventures.com

"ON SITE" CONTACT PERSON DAY OF EVENT: Katherine Seibt

CELL PHONE: 251-377-3520 EMAIL: kseibt@68ventures.com

EVENT INFORMATION

EVENT NAME: Ballin' on Belrose

TYPE OF/PURPOSE OF EVENT: Fundraiser - Run/Walk Challenge

EVENT DATE: 5/17/2025 TIME (START- END): 6:30 AM to 1:00 PM

ASSEMBLY TIME: 6:00 AM # PARTICIPANTS/VEHICLES: 200 - 300

EVENT LOCATION: Belrose Ave. - From Mancis to the bay

FULL DESCRIPTION OF EVENT (PLEASE LIST ANY TENTS, STAGING, PORT-O-LETS, OR SIMILAR ITEMS THAT WILL BE USED ON-SITE): Portolets will be in the gravel parking lot across from the 68V offices and at the bottom of the hill with handwashing stations. There will be 10 - 15 tents in the gravel parking lot, in front of the 68V office, by the bay, and in the front yard across from the 68V office. They will be used for sponsors, registration, first aid, kids games, etc. It will be similar to the past 3 years of the event. There will also be a bounce house or two across the street from the 68V office. See map included.

SPECIAL REQUESTS

ROAD CLOSURE(S) REQUESTS: ☒ Yes* ☐ No *If Yes, please indicate which City Route is requested: Belrose Ave.

WILL YOUR EVENT REQUIRE BARRICADES: ☒ Yes* ☐ No *If Yes, please indicate quantity & location: _____

See map included.

WILL YOUR EVENT REQUIRE ELECTRICITY: ☒ Yes* ☐ No *If Yes, you must provide your own extension cords

WILL YOUR EVENT REQUIRE WATER: ☐ Yes* ☒ No *If Yes, you must provide your own hose(s)

OTHER SPECIAL ITEMS FOR RENT:

TENTS: 20' X 40' # _____ X \$321.00 10' X 10' # _____ X \$123.00/EACH

TABLES: 8' L # _____ X \$45.00/EACH CHAIRS: # _____ X \$12.00/EACH OTHER

SPECIAL REQUESTS: May we have large traffic cones line the center of the course so runners
know to run uphill on the right side of the cones and downhill on the left side of the cones?

MARKETING & COMMUNICATIONS

PLEASE NOTE: As a City permitted event, the City of Daphne should be listed as a sponsor on all marketing materials promoting your event, such as, but not limited to, posters, social media outlets, website(s), t-shirts, promo items, etc. It is the event organizer's responsibility to request the official City logo from our Marketing & Events Department in a proper format. No other City of Daphne logo should be utilized. Please initial acknowledgement: K.S

Is your event open to the general public? ☒ Yes* ☐ No

* If Yes, do you wish for your event to be listed and/or shared on: www.daphneal.com? ☒ Yes ☐ No

Facebook.com? ☒ Yes ☐ No Instagram? ☒ Yes ☐ No LinkedIn? ☒ Yes ☐ No

MARKETING CONTACT (IF DIFFERENT THAN EVENT APPLICANT OR "ON SITE" EVENT CONTACT):

NAME: _____ CONTACT PHONE: _____

OTHER MARKETING REQUESTS: 24"x18" signs at City Hall and other city properties in the Olde Towne Daphne
area two to three weeks prior to the event.

REVENUE/BUSINESS LICENSE

WILL SALES BE GENERATED AT YOUR EVENT: ☐ Yes** ☒ No ** If Yes, please provide your City of Daphne Business License Number here: _____

PLEASE NOTE: If you are providing food trucks or other third-party vendors, they MUST be a licensed business with the City of Daphne.

INDEMNITY & HOLD HARMLESS AGREEMENT

In consideration of the permission granted to me by the City of Daphne to use grounds, sidewalks, and/or streets, I hereby indemnify and hold harmless the City of Daphne, its agents, servants and employees from any and all claims and causes of action that may arise from injury to me or third party using the grounds, sidewalks, and/or streets who are injured or suffer property damage that is in any way caused by my use of the grounds, sidewalks, and/or streets. This indemnity and hold harmless agreement is given to the City of Daphne to protect the City and its agents, servants, and employees from cost of defense and claims for injuries and damages that may be caused either directly or indirectly by my use of grounds, sidewalks, and/or streets.

Further, I have read and understand all rules and regulations according to the City of Daphne Ordinance No. 2017-35 as set forth by the governing body of the City of Daphne and will abide by these rules and regulations. I understand that damage to City property, grounds, sidewalks, and/or streets can and will result in additional fees. I also understand that if at any time the City of Daphne appointed Law Enforcement, Code Enforcement, or other personnel feel that said rules and regulations are not being followed the function will be terminated with no refund of said fees.

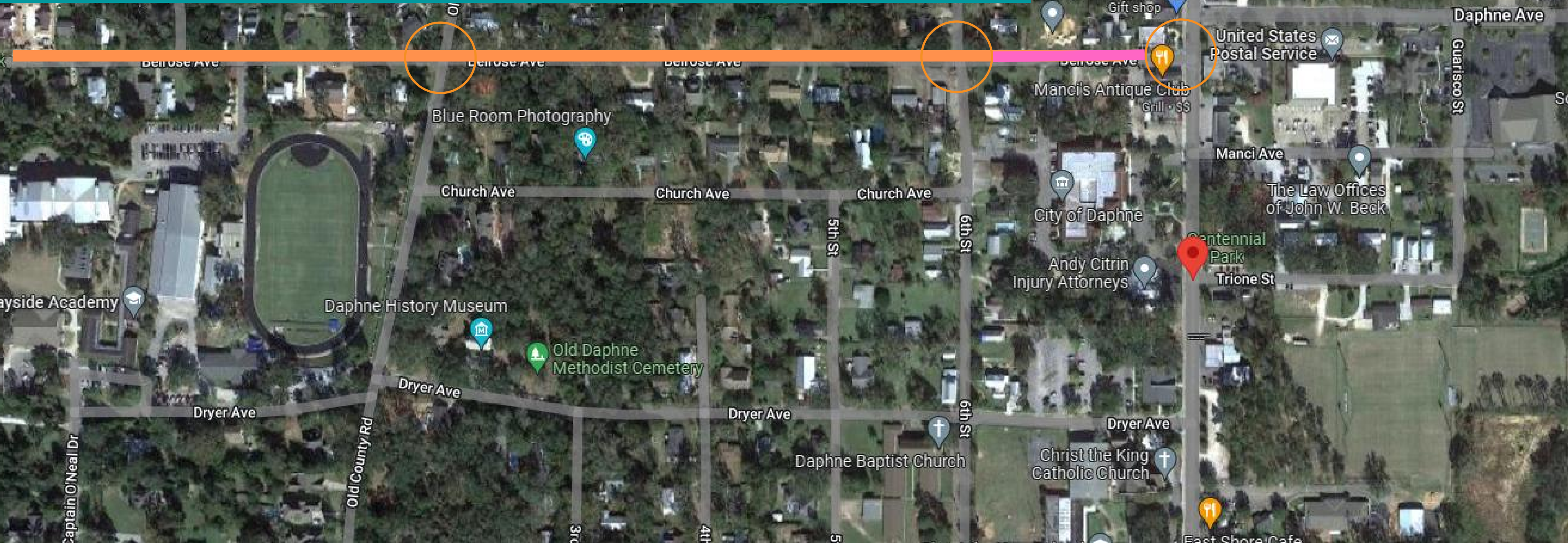
I have read and understand the above, including the cancellation and indemnity policies.

APPLICANT SIGNATURE: Katherine Seibt DATE: 8/29/24

INTERNAL USE ONLY

DATE REC'D: 9-25-2024 CITY CLERK: Candace Antinawala
FIRE DEPT: A. G. Harris APPROVED ROUTE: _____
POLICE DEPT: [Signature] ROUTE MAP ATTACHED: ☐ Yes ☐ No
PUBLIC WORKS: [Signature] EVENT FEE: ☐ Paid \$ _____ CHK# _____
SPORTS & RECREATION: _____ ☐ Waived: _____
MARKETING & EVENTS: _____ PROOF OF INSURANCE REC'D: ☐ Yes ☐ No
** REVENUE: _____

2025 Ballin' On Belrose Course



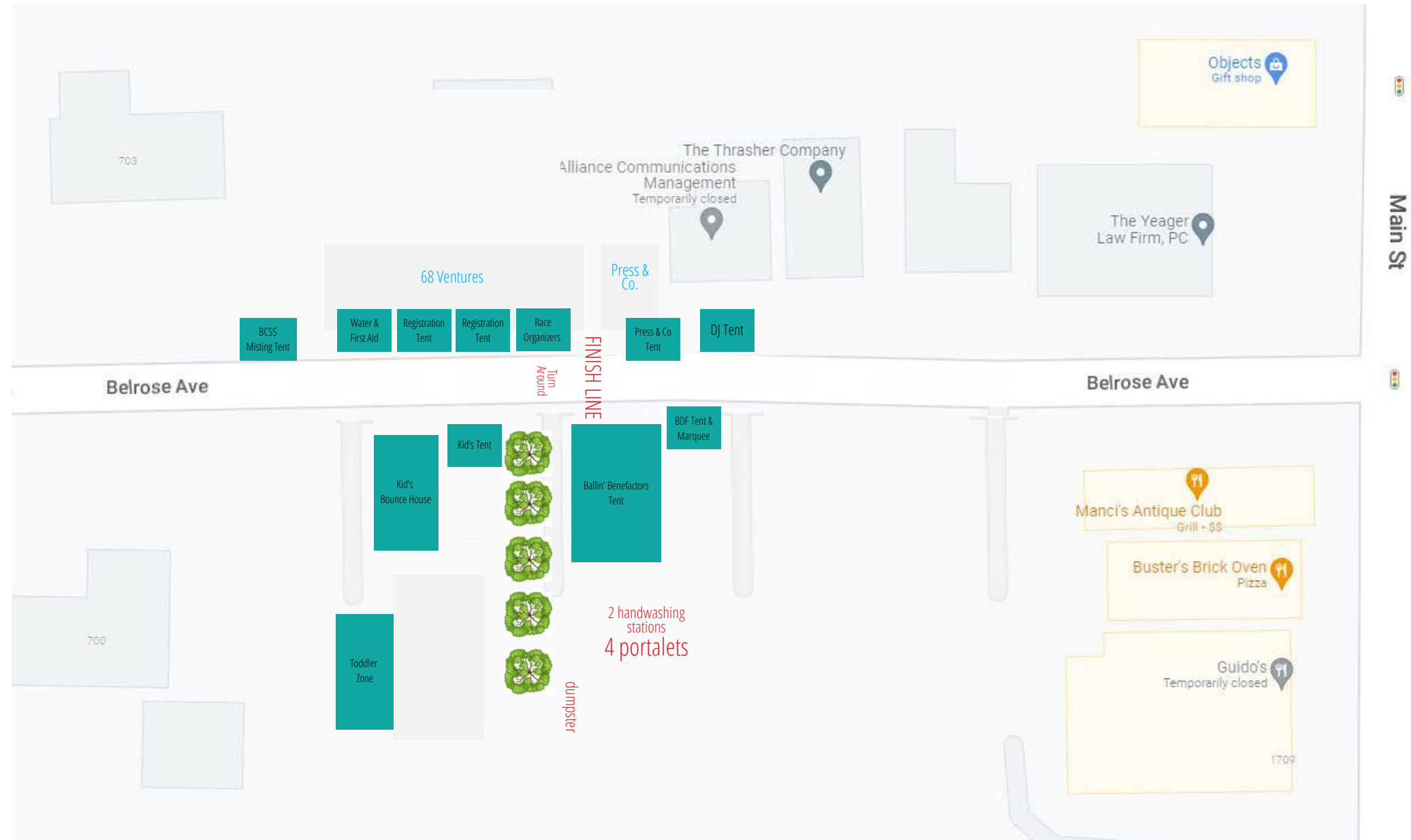
Requesting both lanes on Belrose Avenue closed from 6:30 a.m. to 12 p.m.

Requesting both lanes on Belrose Ave. from 6th St. to Main St. closed from 6:30 a.m. to 1:00 p.m.

Requesting barricades at Belrose and 6th St. and Belrose and Old County Rd. from 6:30 to 12 p.m. and requesting traffic cones placed along the median of Belrose Ave. to separate uphill and downhill runners.

Ballin' on Belrose

2025 Preliminary Tent Placement Plan





COMMUNITY DEVELOPMENT INTERNAL MEMORANDUM

DATE: September 30, 2024

TO: Office of the City Clerk

FROM: Adrienne Jones, AICP, Director of Community Development 

SUBJECT: Fortuna Investments, LLC, Industrial Development Board and the City of Daphne Zoning Amendment

PRESENT ZONING: B-1, Local Business

PROPOSED PRE-ZONING: PUD, Planned Unit Development

LOCATION: Southeast of Champions Way and Alabama Highway 181

RECOMMENDATION: At the September 26, 2024 regular meeting of the City of Daphne Planning Commission, seven members were present, and the motion carried for a favorable recommendation for the above captioned zoning amendment.

Attached please find the appropriate documentation and action of the Daphne Planning Commission.

Upon receipt of said documentation, please prepare an ordinance for placement on the City Council agenda to set a public hearing.

Thank you,
ADJ/jv

1. Community Development Report and Supplemental Documents
2. Zoning Application
3. Legal Description (Exhibit A)
4. Boundary Survey (Exhibit B)
5. Adjacent Property Owners List
6. Citizen Comments

FORTUNA INVESTMENTS, LLC
DAPHNE IDB & CITY OF DAPHNE
REZONING AMENDMENT REQUEST





68V BALDWIN LAND HOLDINGS, LLC

Zoning Classification:

B-3, Professional Business

Surrounding Zonings/Uses:

- **North** - County RSF-1 and City R-4 Residential
- **South** - County RSF-1 and City B-2(A)/Undeveloped
- **East** - B-3/Undeveloped
- **West** - Unzoned/Residential

Existing Utility Service Providers: Riviera Utilities, AT&T, Daphne Utilities, Belforest Water

Affected City Service Providers: Fire Station 3, Police Beat 4

Staff Recommendation to PC: Favorable recommendation to City Council

Proposed Zoning:

PUD, Planned Unit Development

Development Concept:

Single Family Residential

Council District:

7

Existing Conditions:

59.81 ac Undeveloped

Planning Commission

Favorable recommendation to City Council

PROPOSAL:

The applicant proposes to rezone the subject property to a mixed use planned unit development. Details are provided by the applicant.

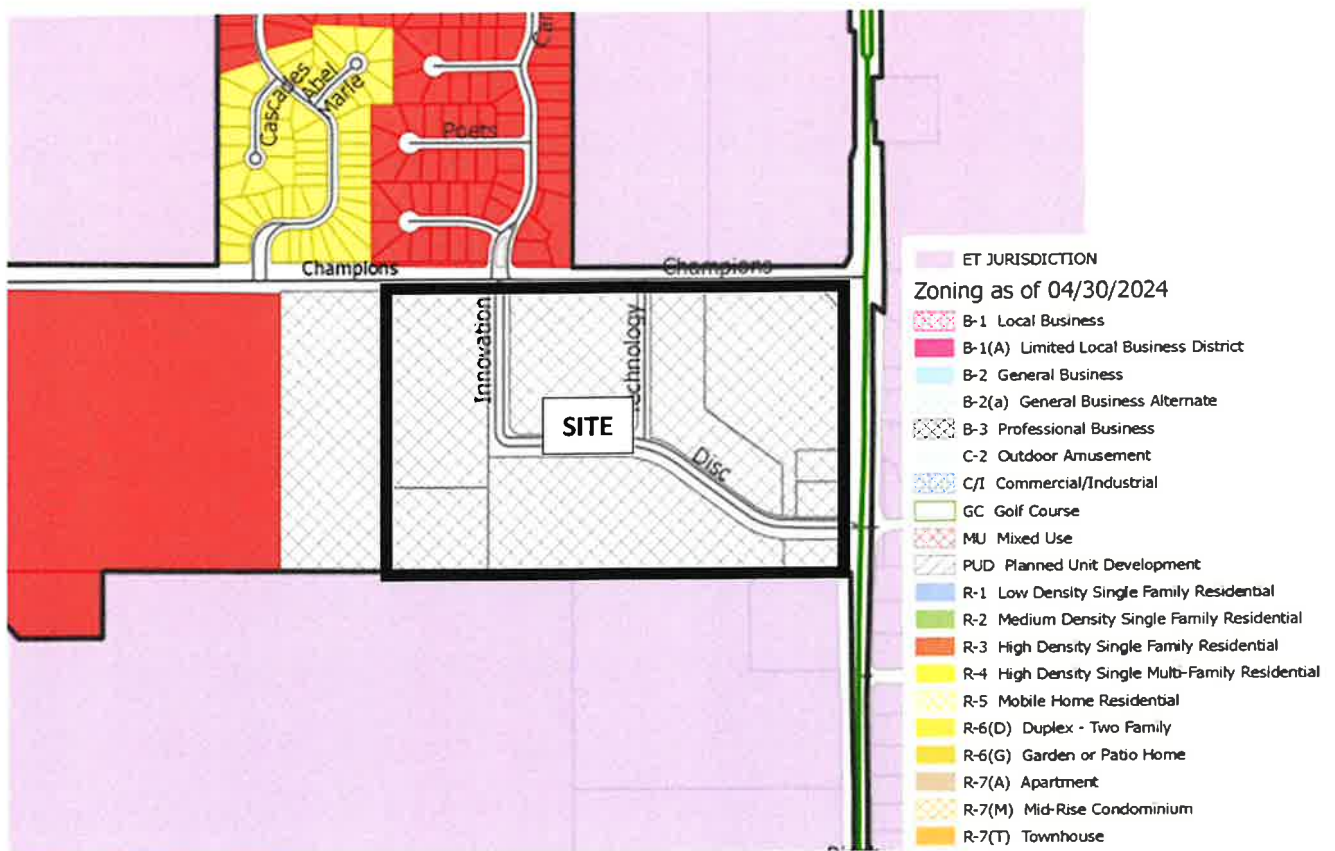
COMPREHENSIVE PLAN:

An amendment to the Envision Daphne 2042 Comprehensive Plan was adopted in August designating the full site as a Mixed-Use placetype. Therefore, the proposed zoning and future uses are consistent with the Comprehensive plan.

RECOMMENDATION:

Staff and the Planning Commission recommends setting forth a favorable recommendation to City Council.

Excerpt from Daphne Zoning Map



**CITY OF DAPHNE, ALABAMA PLANNING COMMISSION
RESOLUTION# 2024-03**

A RESOLUTION AMENDING THE ENVISION 2042 COMPREHENSIVE PLAN

WHEREAS, on March 28, 2024, following a public hearing, the City of Daphne Planning Commission approved Resolution No. 2024-01, adopting the Envision Daphne 2042 Comprehensive Plan (the “Comprehensive Plan”), including without limitation each of the maps and descriptive matters contained therein, as presented to the Planning Commission at its regular meeting of March 28, 2024; and

WHEREAS, pursuant to page 4 of the Comprehensive Plan, “the planning commission is empowered to adopt the plan in parts or in whole, and amend it at will”; and

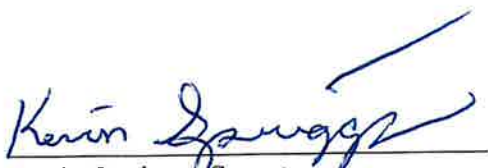
WHEREAS, the Planning Commission has determined that certain amendments to the Comprehensive Plan, as set forth in Exhibit A hereto, are necessary to achieve the City of Daphne’s overall vision as set forth in the Comprehensive Plan; and

WHEREAS, on August 22, 2024, the Planning Commission held a public hearing on the proposed amendment to the Comprehensive Plan as agenda item CPA24-03; and

WHEREAS, pursuant to Ala. Code § 11-52-10, any amendment to the Comprehensive Plan “shall be by resolution of the commission carried by the affirmative votes of not less than six members of the commission.”

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Daphne hereby amends the Envision Daphne 2042 Comprehensive Plan, including without limitation each of the maps and descriptive matters contained therein, as presented to the Planning Commission at its regular meeting of March 28, 2024, and as previously amended, as set forth in Exhibit A hereto.

ADOPTED this 22nd day of August, 2024, by the City of Daphne Planning Commission.


Kevin Spriggs, Secretary

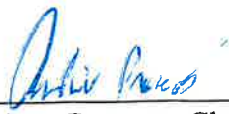

Andrew Prescott, Chairperson

EXHIBIT A

RE-SUB OF LOT 2, DISC SUBDIVISION

2117735

PPIN # 625557

&

Common Area 1

PPIN # 367368

LEGEND 1. LOT 2, DISC SUBDIVISION 2. LOT 3, DISC SUBDIVISION 3. LOT 4, DISC SUBDIVISION 4. LOT 5, DISC SUBDIVISION 5. LOT 6, DISC SUBDIVISION 6. LOT 7, DISC SUBDIVISION 7. LOT 8, DISC SUBDIVISION 8. LOT 9, DISC SUBDIVISION 9. LOT 10, DISC SUBDIVISION 10. LOT 11, DISC SUBDIVISION 11. LOT 12, DISC SUBDIVISION 12. LOT 13, DISC SUBDIVISION 13. LOT 14, DISC SUBDIVISION 14. LOT 15, DISC SUBDIVISION 15. LOT 16, DISC SUBDIVISION 16. LOT 17, DISC SUBDIVISION 17. LOT 18, DISC SUBDIVISION 18. LOT 19, DISC SUBDIVISION 19. LOT 20, DISC SUBDIVISION 20. LOT 21, DISC SUBDIVISION 21. LOT 22, DISC SUBDIVISION 22. LOT 23, DISC SUBDIVISION 23. LOT 24, DISC SUBDIVISION 24. LOT 25, DISC SUBDIVISION 25. LOT 26, DISC SUBDIVISION 26. LOT 27, DISC SUBDIVISION 27. LOT 28, DISC SUBDIVISION 28. LOT 29, DISC SUBDIVISION 29. LOT 30, DISC SUBDIVISION 30. LOT 31, DISC SUBDIVISION 31. LOT 32, DISC SUBDIVISION 32. LOT 33, DISC SUBDIVISION 33. LOT 34, DISC SUBDIVISION 34. LOT 35, DISC SUBDIVISION 35. LOT 36, DISC SUBDIVISION 36. LOT 37, DISC SUBDIVISION 37. LOT 38, DISC SUBDIVISION 38. LOT 39, DISC SUBDIVISION 39. LOT 40, DISC SUBDIVISION 40. LOT 41, DISC SUBDIVISION 41. LOT 42, DISC SUBDIVISION 42. LOT 43, DISC SUBDIVISION 43. LOT 44, DISC SUBDIVISION 44. LOT 45, DISC SUBDIVISION 45. LOT 46, DISC SUBDIVISION 46. LOT 47, DISC SUBDIVISION 47. LOT 48, DISC SUBDIVISION 48. LOT 49, DISC SUBDIVISION 49. LOT 50, DISC SUBDIVISION 50. LOT 51, DISC SUBDIVISION 51. LOT 52, DISC SUBDIVISION 52. LOT 53, DISC SUBDIVISION 53. LOT 54, DISC SUBDIVISION 54. LOT 55, DISC SUBDIVISION 55. LOT 56, DISC SUBDIVISION 56. LOT 57, DISC SUBDIVISION 57. LOT 58, DISC SUBDIVISION 58. LOT 59, DISC SUBDIVISION 59. LOT 60, DISC SUBDIVISION 60. LOT 61, DISC SUBDIVISION 61. LOT 62, DISC SUBDIVISION 62. LOT 63, DISC SUBDIVISION 63. LOT 64, DISC SUBDIVISION 64. LOT 65, DISC SUBDIVISION 65. LOT 66, DISC SUBDIVISION 66. LOT 67, DISC SUBDIVISION 67. LOT 68, DISC SUBDIVISION 68. LOT 69, DISC SUBDIVISION 69. LOT 70, DISC SUBDIVISION 70. LOT 71, DISC SUBDIVISION 71. LOT 72, DISC SUBDIVISION 72. LOT 73, DISC SUBDIVISION 73. LOT 74, DISC SUBDIVISION 74. LOT 75, DISC SUBDIVISION 75. LOT 76, DISC SUBDIVISION 76. LOT 77, DISC SUBDIVISION 77. LOT 78, DISC SUBDIVISION 78. LOT 79, DISC SUBDIVISION 79. LOT 80, DISC SUBDIVISION 80. LOT 81, DISC SUBDIVISION 81. LOT 82, DISC SUBDIVISION 82. LOT 83, DISC SUBDIVISION 83. LOT 84, DISC SUBDIVISION 84. LOT 85, DISC SUBDIVISION 85. LOT 86, DISC SUBDIVISION 86. LOT 87, DISC SUBDIVISION 87. LOT 88, DISC SUBDIVISION 88. LOT 89, DISC SUBDIVISION 89. LOT 90, DISC SUBDIVISION 90. LOT 91, DISC SUBDIVISION 91. LOT 92, DISC SUBDIVISION 92. LOT 93, DISC SUBDIVISION 93. LOT 94, DISC SUBDIVISION 94. LOT 95, DISC SUBDIVISION 95. LOT 96, DISC SUBDIVISION 96. LOT 97, DISC SUBDIVISION 97. LOT 98, DISC SUBDIVISION 98. LOT 99, DISC SUBDIVISION 99. LOT 100, DISC SUBDIVISION	CERTIFICATE OF APPROVAL BY THE BOARD OF SUPERVISORS I, the undersigned, Board of Supervisors of the City of Daphne, do hereby approve the re-subdivision of Lot 2, Disc Subdivision, as shown on the attached plat, and I authorize the City Engineer to execute the necessary orders and permits for the same. _____ Mayor CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION I, the undersigned, Planning Commission of the City of Daphne, do hereby approve the re-subdivision of Lot 2, Disc Subdivision, as shown on the attached plat, and I authorize the City Engineer to execute the necessary orders and permits for the same. _____ Chairman CERTIFICATE OF APPROVAL BY THE CITY ENGINEER I, the undersigned, City Engineer of the City of Daphne, do hereby approve the re-subdivision of Lot 2, Disc Subdivision, as shown on the attached plat, and I authorize the City Engineer to execute the necessary orders and permits for the same. _____ City Engineer	PRELIMINARY/FINAL PLAT RE-SUB OF LOT 2, DISC SUBDIVISION CITY OF DAPHNE awgrass 2117735
--	---	--

Planning Commission Resolution# 2024-03

Adjacent Property Owner List

No	Parcel Number	Pin	Owner Name	Address	City	State	Zip
1	05-43-02-03-0-000-002.039	119064	ALLEN, KIM F N/K/A LAUBENTHAL, KIM	9650 CANTERBURY CT	DAPHNE	AL	36526
2	05-43-02-03-0-000-003.006	367367	BALDWIN COUNTY BOARD OF EDUCATION	2600 A HAND AVE	BAY MINETTE	AL	36507
3	05-43-01-02-0-000-002.002	254459	BAY AREA HOLDINGS L L C	3967 PINEBROOK DR S	MOBILE	AL	36608
	05-43-01-02-0-000-002.003	254460					
4	05-43-01-02-0-000-001.000	44188	BLAKESLEE WALDWICK INC	PO BOX 1234	MOBILE	AL	36633
5	05-43-02-03-0-000-002.041	119066	CANTERBURY PLACE HOMEOWNERS ASSOCIATION AND INC	P O BOX 748	DAPHNE	AL	36526
	05-43-02-03-0-000-002.040	119065					
	05-43-02-03-0-000-002.043	119067					
	05-43-02-03-0-000-002.046	119070					
6	05-43-02-03-0-000-001.000	8120	COMETTI FAMILY PROPERTIES L L C	P O BOX 156	GRANT	AL	35747
7	05-43-02-03-0-000-003.009	625557	DAPHNE CITY OF	1705 MAIN ST	DAPHNE	AL	36526
8	05-43-01-02-0-000-002.001	254458	FONTENOT PROPERTIES L L C	28396 STATE HIGHWAY 181	DAPHNE	AL	36526
9	05-43-02-03-0-000-003.000	62439	FORTUNA INVESTMENTS L L C	707 BELROSE AVE	DAPHNE	AL	36526
10	05-43-02-03-0-000-003.002	367363	INDUSTRIAL DEVELOPMENT BOARD OF THE CITY AND OF DAPHNE	P O BOX 400	DAPHNE	AL	36526
	05-43-02-03-0-000-003.005	367366					
	05-43-02-03-0-000-003.008	385613					
	05-43-02-03-0-000-003.004	367365					
	05-43-02-03-0-000-003.001	367362					
	05-43-02-03-0-000-003.007	367368					
	05-43-02-03-0-000-003.003	367364					
11	05-43-01-02-0-000-006.001	34201	JOHNSON, JOSHUA E ETAL JOHNSON, JESSICA AND LYNN	28230 STATE HIGHWAY 181	DAPHNE	AL	36526
12	05-43-02-03-0-000-002.038	119063	LEDBETTER, SAMUEL WALKER III ETAL LEDBET AND TER, JERRIE PATCHEN	9630 CANTERBURY CT	DAPHNE	AL	36526
13	05-43-02-03-0-000-002.224	362662	MALBIS PLANTATION INC	29470 ST HWY 181	DAPHNE	AL	36526
	05-43-02-03-0-000-002.225	362663					
	05-43-02-03-0-000-002.087	170060					
14	05-43-02-03-0-000-002.035	119060	MCCOLLUM, ERNEST R ETAL MCCOLLUM, CHRIST AND INE O	9576 CANTERBURY CT	DAPHNE	AL	36526
15	05-43-02-03-0-000-001.001	80835	ROLISON, KEN ETAL ROLISON, JENNIFER C	28601 ST HWY 181	DAPHNE	AL	36526
16	05-43-01-02-0-000-002.000	2969	SAUCIER PROPERTIES L L C	24071 2ND ST	FAIRHOPE	AL	36532

Adjacent Property Owner List

17	05-43-02-03-0-000-002.044	119068	SAWYER, JAMES ETAL SAWYER, JODI	28510 CANTERBURY RD	DAPHNE	AL	36526
18	05-43-01-02-0-000-003.009	263557	SCALLY, KAREN ETAL PENNANEN, CYNTHIA	10055 ROSEWOOD LN	DAPHNE	AL	36526
19	05-43-02-03-0-000-002.036	119061	TONDER, BRADFORD C ETAL TONDER, JENNIFER AND ANN	374 RIDGEWOOD CIR	FAIRHOPE	AL	36532
20	05-43-02-03-0-000-002.037	119062	VAN RENSSELAER, MATTHEW L ETAL COULTER, AND ELIZABETH A	9612 CANTERBURY CT	DAPHNE	AL	36526
21	05-43-01-02-0-000-003.005	207870	WOODLANDS AT MALBIS PROPERTY OWNERS ASSO AND CIATION, INC	10311 ROSEWOOD LN	DAPHNE	AL	36526
	05-43-01-02-0-000-003.048	263596					
	05-43-01-02-0-000-003.008	263556					
22	Engineer		JADE Consulting, LLC	208 N. Greeno Rd., Ste. C	FAIRHOPE	AL	36532

COMMUNITY DEVELOPMENT



August 9, 2024

Dear Sir/Ma'am,

NOTICE OF PUBLIC HEARING

A petition for REZONING will be considered by the Daphne Planning Commission for Fortuna Investments, LLC, Industrial Development Board and the City of Daphne containing 59.81 acres +/- located southwest of Alabama Highway 181 and Champions Way, zoned B-1, Local Business, to be rezoned to a PUD, Planned Unit Development.

Said petition will also be considered by the Daphne City Council pursuant to Alabama Code 11-52-85. The application is available for review at City Hall in the Department of Community Development, 1705 Main Street, during regular business hours. An informal site preview meeting will be held on Wednesday, August 14, 2024 at 8:30 a.m. in the Council Chambers of City Hall. The public is invited to attend: limited participation may be allowed by the chairman.

The public hearing will be held by the Daphne Planning Commission on Thursday, August 22, 2024 at 5:00 p.m. in the Council Chambers of City Hall. You may submit your views in writing, in person, or by representation.

Sincerely,
Adrienne D. Jones, AICP,
Director of Community Development

Fortuna Investments, LLC, Industrial Development Board and the City of Daphne Zoning Amendment

APPLICATION & SUPPLEMENTAL INFORMATION



APPLICATION FOR REZONING OR PRE-ZONING

Office use only: Rev 072816

Application Number:

ZA24-03 or PZA-

Date Submitted July 19, 2024

Planning Commission Public

Hearing Date: August 22, 2024

Legibly print or type responses below. Indicate N/A or an "X" where item is not applicable.

SITE DATA

Site Location (Address or General Proximity to Nearest Intersection):

Disc Dr. & Champion Way, Daphne

PPIN#(s): 62439, 367362, 367363, 367364,
367365, 367366, 367368, 385613,
625557

Gross Site Area (acreage): 59.81

Requested Zoning or Pre-Zoning: PUD

Current Zoning Designation(s):

B-3

Amended Request:

Initials:

Date:

Current Land Use:

Vacant

Anticipated Land Use: Commercial & Multi-family

Provide Legal Description (if necessary attach separate page entitled "Legal Description for [Name of Applicant]":
See Survey

Specify other recently approved or pending requests related to the subject property. Circle the answer(s).

Annexation Subdivision Site Plan Special Exception Variance Specify Other

APPLICANT & AGENT INFORMATION

**If an LLC or LLP or Corporation, provide name and signature of Registered Member or Agent and provide a copy of Articles of Incorporation.*

Name of Current Owner: Fortuna Investments, LLC, IDB & City of Daphne

Mailing Address: 707 Belrose Ave., Daphne, AL 36526

Phone/Fax:

E-mail:

Name of Authorized Agent: JADE Consulting, LLC

Mailing Address: 208 N. Greeno Rd., Ste. C, Fairhope, AL 36532

251-928-3443
sruth@jadengineers.c

Phone/Fax:

E-mail:

om

Name of Developer*:

68V Pay Dirt Commercial LLC

251-625-1198
ddolan@68ventures.com

Phone/Fax:

E-mail:

Other:

Cameron Thatcher

cthatcher@68ventures.com
919-616-8301

Phone/Fax:

E-mail:

I, the applicant, certify that all of the above facts are true and correct to the best of my knowledge. I hereby agree to allow the City of Daphne to post a sign on the subject property notifying the general public of this request.

Applicant's Signature:	Date: 7/16/2024
Agent's Signature:	Date:

Exhibit A Legal

LEGAL DESCRIPTION

TRACT 1:

STATE OF ALABAMA
COUNTY OF BALDWIN

LOT 2B OF RE-SUBDIVISION OF LOT 2, DISC SUBDIVISION, AS PER PLAT THEREOF RECORDED ON SLIDE NO. 2943-E OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

TRACT 2:

STATE OF ALABAMA
COUNTY OF BALDWIN

LOTS 3, 5, 6 AND COMMON AREA 1 OF OF DISC SUBDIVISION, AS PER PLAT THEREOF RECORDED ON SLIDE NO. 2568-E AND 2568-F, OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

AND

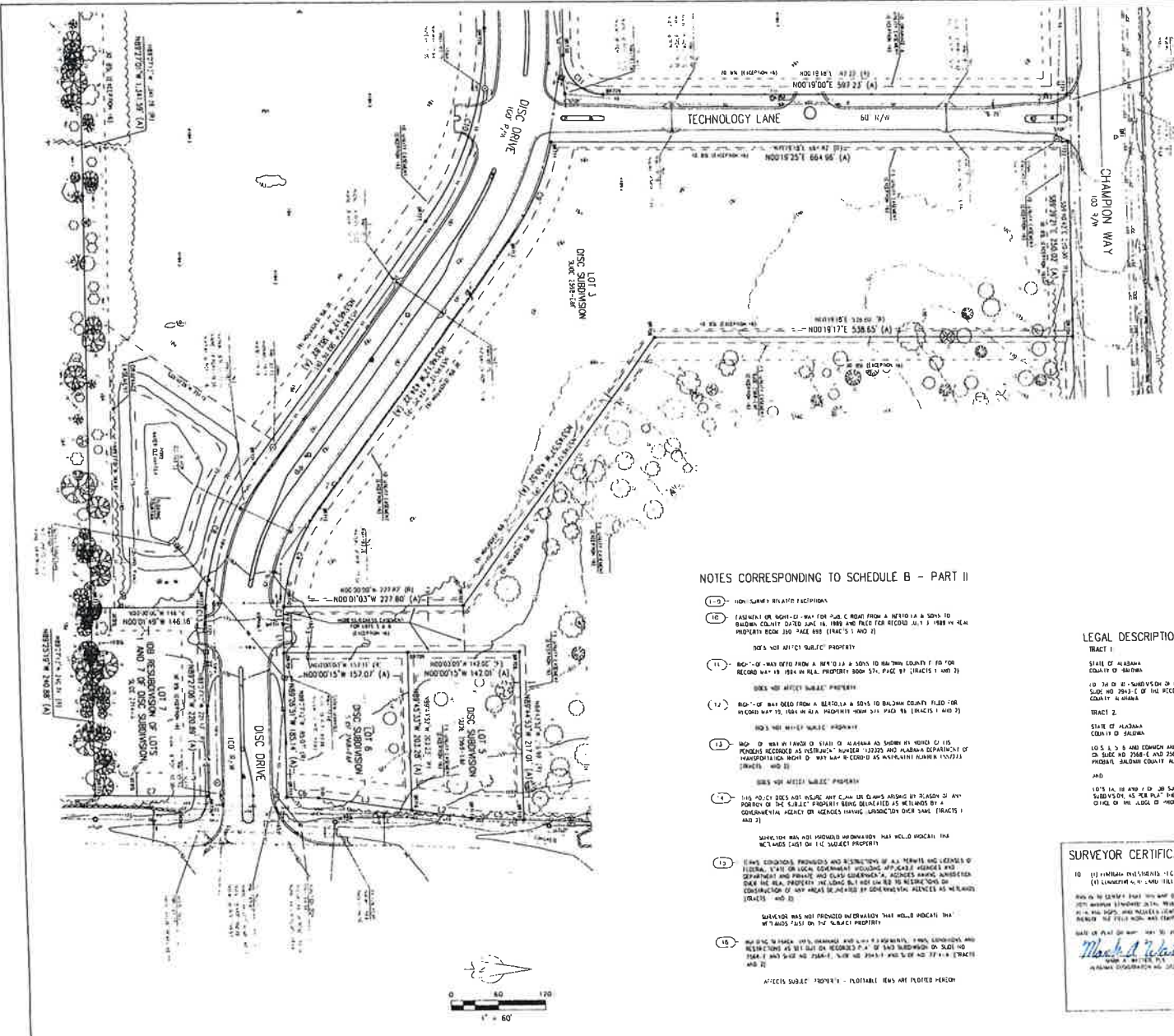
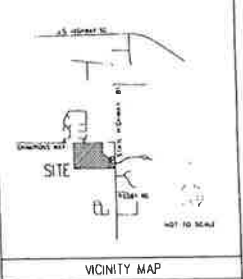
LOTS 1A, 1B AND 7 OF IDB SUBDIVISION, A RESUBDIVISION OF LOTS 1 AND 7 OF DISC SUBDIVISION, AS PER PLAT THEREOF RECORDED ON SLIDE NO. 2714-A OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

LEGAL DESCRIPTION

STATE OF ALABAMA
COUNTY OF BALDWIN

LOT 4 OF DISC SUBDIVISION, AS PER PLAT THEREOF RECORDED ON SLIDE NO. 2568-E AND 2568-F, IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

Exhibit B Survey



LINE DATA

LINE	BEARING	DISTANCE	AREA
1	N 00° 00' 00" E	100.00	1.00
2	S 00° 00' 00" E	100.00	1.00
3	N 00° 00' 00" E	100.00	1.00
4	S 00° 00' 00" E	100.00	1.00
5	N 00° 00' 00" E	100.00	1.00
6	S 00° 00' 00" E	100.00	1.00
7	N 00° 00' 00" E	100.00	1.00
8	S 00° 00' 00" E	100.00	1.00

CURVE DATA

CURVE	BEARING	DISTANCE	AREA
1	N 00° 00' 00" E	100.00	1.00
2	S 00° 00' 00" E	100.00	1.00
3	N 00° 00' 00" E	100.00	1.00
4	S 00° 00' 00" E	100.00	1.00
5	N 00° 00' 00" E	100.00	1.00
6	S 00° 00' 00" E	100.00	1.00
7	N 00° 00' 00" E	100.00	1.00
8	S 00° 00' 00" E	100.00	1.00

NOTES CORRESPONDING TO SCHEDULE B - PART II

- 1-5 HIGH SURVEY RELATED FACILITIES
- 10 EASEMENT OR RIGHT-OF-WAY FOR PUBLIC ROAD FROM A NEIGHBOR TO BOUNDARY COUNTY DATED SAME, 1988 AND FILED FOR RECORD JULY 1, 1988 IN REAL PROPERTY BOOK 350 PAGE 885 (TRACTS 1 AND 2)
- 11 DOES NOT AFFECT SUBJECT PROPERTY
- 12 DOES NOT AFFECT SUBJECT PROPERTY
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- 100 DOES NOT AFFECT SUBJECT PROPERTY

LEGAL DESCRIPTION

TRACT 1
STATE OF ALABAMA
COUNTY OF SHELBY
LOT 1 AND 2, SUBDIVISION OF LOT 1 DISC SUBDIVISION, AS PER PLAT THEREOF RECORDED IN BOOK NO. 350, PAGE 885 OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, SHELBY COUNTY, ALABAMA.
TRACT 2
STATE OF ALABAMA
COUNTY OF SHELBY
LOT 3, 4, 5 AND 6 AND COMMON AREA 1 OF DISC SUBDIVISION, AS PER PLAT THEREOF RECORDED IN BOOK NO. 350, PAGE 885 OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, SHELBY COUNTY, ALABAMA.
AND
LOT 7, 8 AND 9 OF DISC SUBDIVISION, AS PER PLAT THEREOF RECORDED IN BOOK NO. 350, PAGE 885 OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, SHELBY COUNTY, ALABAMA.

SURVEYOR CERTIFICATION

10. I, the undersigned, being duly sworn, depose and say that the foregoing is a true and correct copy of the original of the plat of the above described land, as the same appears in the records of the office of the Judge of Probate, Shelby County, Alabama, and that the same is a true and correct copy of the original of the plat of the above described land, as the same appears in the records of the office of the Judge of Probate, Shelby County, Alabama.

Wattier Surveying, Inc.
Professional Land Surveyors
208 South Main Street, Suite 100
Mobile, Alabama 36680
251-343-2643

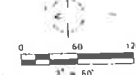
- LEGEND
- (1) HIGH SURVEY RELATED FACILITIES
 - (2) EASEMENT OR RIGHT-OF-WAY FOR PUBLIC ROAD FROM A NEIGHBOR TO BOUNDARY COUNTY DATED SAME, 1988 AND FILED FOR RECORD JULY 1, 1988 IN REAL PROPERTY BOOK 350 PAGE 885 (TRACTS 1 AND 2)
 - (3) DOES NOT AFFECT SUBJECT PROPERTY
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 - (100) DOES NOT AFFECT SUBJECT PROPERTY

NOTES



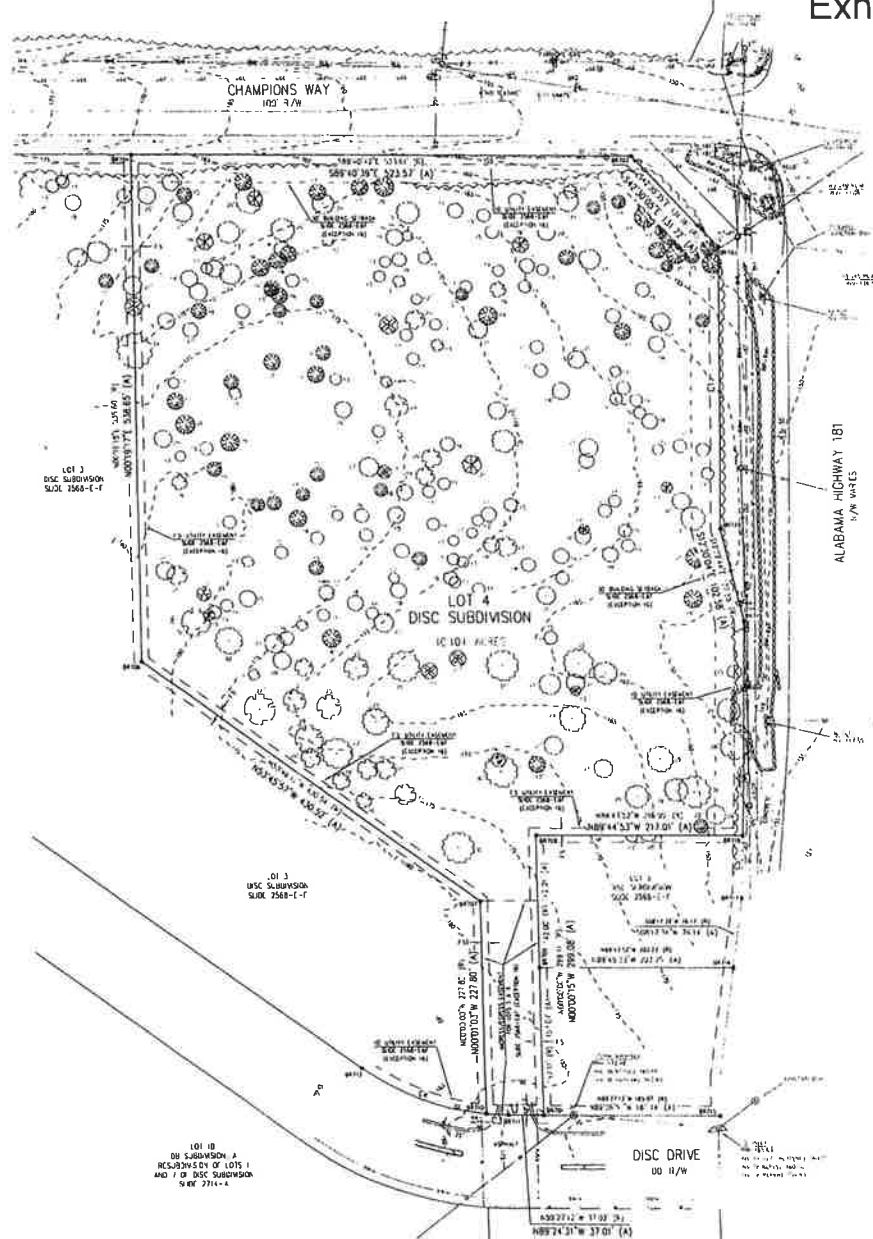
- PROPERTY CORNER & CONTROL POINT DATA

NAME	DATE	TIME	LOCATION	REMARKS
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102	10/10/1978	10:00	102	102
103	10/10/1978	10:00	103	103
104	10/10/1978	10:00	104	104
105	10/10/1978	10:00	105	105
106	10/10/1978	10:00	106	106
107	10/10/1978	10:00	107	107
108	10/10/1978	10:00	108	108
109	10/10/1978	10:00	109	109
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111	10/10/1978	10:00	111	111
112	10/10/1978	10:00	112	112
113	10/10/1978	10:00	113	113
114	10/10/1978	10:00	114	114
115	10/10/1978	10:00	115	115
116	10/10/1978	10:00	116	116
117	10/10/1978	10:00	117	117
118	10/10/1978	10:00	118	118
119	10/10/1978	10:00	119	119
120	10/10/1978	10:00	120	120
121	10/10/1978	10:00	121	121
122	10/10/1978	10:00	122	122
123	10/10/1978	10:00	123	123
124	10/10/1978	10:00	124	124
125	10/10/1978	10:00	125	125
126	10/10/1978	10:00	126	126
127	10/10/1978	10:00	127	127
128	10/10/1978	10:00	128	128
129	10/10/1978	10:00	129	129
130	10/10/1978	10:00	130	130
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133	10/10/1978	10:00	133	133
134	10/10/1978	10:00	134	134
135	10/10/1978	10:00	135	135
136	10/10/1978	10:00	136	136
137	10/10/1978	10:00	137	137
138	10/10/1978	10:00	138	138
139	10/10/1978	10:00	139	139
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144	10/10/1978	10:00	144	144
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146	10/10/1978	10:00	146	146
147	10/10/1978	10:00	147	147
148	10/10/1978	10:00	148	148
149	10/10/1978	10:00	149	149
150	10/10/1978	10:00	150	150



WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
4318 Greenway Lane N. Suite 1
Waco, Texas 76791 214-767-2840

Exhibit B Survey



NOTES

1. THIS SURVEY DOES NOT REFLECT ANY TITLE OR EASEMENT RESEARCH BY THIS SURVEYOR. THIS A/TITLE/NSPS LAND TITLE SURVEY HAS BEEN PREPARED USING THE A/TITLE/NSPS FOR THE PURPOSE OF CONVEYING LAND TITLE. NEARLY ALL COUNTY COUNTDOWNERS BY ALABAMA LAND TITLE COMPANY, COUNTY NUMBER 3-1000-00, ETC. DATE: MARCH 3, 2024 AT 08:00 AM.
2. THE PROPERTY DESCRIBED HEREON IS SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 15000-01-01 DATED 01/18/2019 AND IS SHOWN TO BE IN FLOOD ZONE 1. UNDESIGNED.
3. GROSS LAND AREA: 129,801.51 SQ. FT. 10.01 ACRES.
4. CURRENT ZONE CLASSIFICATION: CITY OF BIRMINGHAM: B-3 PROFESSIONAL BUSINESS. SETBACK REQUIREMENTS: (FOOT) CHAMPIONS WAY: 30 FEET; STATE HIGHWAY: 100 FEET; NORTH COUNTRY JAIL: 30 FEET; SIDE STREET (STATE HIGHWAY): 30 FEET; REAR: 30 FEET.
5. TAX MAP NUMBER: 05-13-03-03-0-000-000-000.
6. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83) AND WERE ESTABLISHED ON-SPOT BY STATIC GPS OBSERVATIONS PROCESSED VIA GPS. THE CONTROL LINES SHOWN HEREON WERE PRODUCED USING AERIAL LOAN TECHNOLOGY ALONG WITH CONVENTIONAL GROUND SURVEY TECHNOLOGY.
7. THERE IS NO OBSERVABLE EVIDENCE OF EASEMENTS WITHIN THE SUBJECT PROPERTY.
8. ALL SUBSTANTIAL EASEMENT IMPROVEMENTS ON THE DESCRIBED PARCELS ARE SHOWN HEREON.
9. MOBILE GROUND UTILITIES SHOWN HEREON ARE SHOWN BASED UPON OLD MEASUREMENTS OF MOBILE UTILITIES.
10. UNDERGROUND UTILITIES SHOWN HEREON WERE ESTABLISHED BY FIELD MEASUREMENTS OF CANNALS PLACED ON THE GROUND BY HANDS WITH COMPANIES RESPONDING TO UTIL LOCATOR TAGS NUMBERED 21070001, 21070002, 21070003, 21070004, 21070005, 21070006, 21070007, 21070008, 21070009, 21070010, 21070011, 21070012, 21070013, 21070014, 21070015, 21070016, 21070017, 21070018, 21070019, 21070020, 21070021, 21070022, 21070023, 21070024, 21070025, 21070026, 21070027, 21070028, 21070029, 21070030, 21070031, 21070032, 21070033, 21070034, 21070035, 21070036, 21070037, 21070038, 21070039, 21070040, 21070041, 21070042, 21070043, 21070044, 21070045, 21070046, 21070047, 21070048, 21070049, 21070050, 21070051, 21070052, 21070053, 21070054, 21070055, 21070056, 21070057, 21070058, 21070059, 21070060, 21070061, 21070062, 21070063, 21070064, 21070065, 21070066, 21070067, 21070068, 21070069, 21070070, 21070071, 21070072, 21070073, 21070074, 21070075, 21070076, 21070077, 21070078, 21070079, 21070080, 21070081, 21070082, 21070083, 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EXECUTIVE SUMMARY FOR



PROSPECT PARK

PLANNED UNIT DEVELOPMENT

DEVELOPER:

68Venturës

707 Belrose Avenue Daphne, AL 36526

P: 251.625.1198

PREPARED BY:



PROJECT TEAM AND INFORMATION

Parcel Number (s)	Currently Zoned Proposed	Location/Address	Project Acres
05-43-02-03-0-000-003.000, 05-43-02-03-0-000-003.001, 05-43-02-03-0-000-003.002, 05-43-02-03-0-000-003.003, 05-43-02-03-0-000-003.004, 05-43-02-03-0-000-003.005, 05-43-02-03-0-000-003.007, 05-43-02-03-0-000-003.008, 05-43-02-03-0-000-003.009	B-3 PUD	Disc Dr. Daphne	59.81 AC
Developer/Buyer:  707 Belrose Avenue Daphne, AL 36526 251-625-1198			
Civil Engineer:  JADE Consulting, LLC 208 N. Greeno Rd., Ste. C Fairhope, AL 36532 (251) 928-3443 Perry C. "Trey" Jinright III, P.E., LEED AP tjinright@jadengineers.com Paul Marcinko, P.E., Project Manager pmarcinko@jadengineers.com Sherry Ruth, Project Coordinator sruth@jadengineers.com			
Surveyor:  Wattier Surveying, Inc. 318 Downtowner Loop North, Suite H Mobile, AL 36609 (251) 342-2640 Mark Wattier mark@wattiersurveying.com			
Architect:  2227 2ND Avenue North Birmingham, AL 35203 (205) 329-7027 Jared Calhoun Jared@nequette.com			
Landscape Architect:  WAS Design 218 N. Alston Street Foley, AL 36535 251-948-7181			
Traffic Engineer:  Neel Schaffer, Inc. 851 East I-65 Service Road Suite 1000 Mobile, AL 36606 251-471-2000			

Prospect Park Project Narrative:

Prospect Park is an assemblage of nine parcels on the Southwest corner of Champions Way and State Highway 181. The accumulated area measures approximately 59.81 acres. The attached proposal aims to create a neighborhood commercial hub consistent with Daphne's Community Development Vision outlined in the "Envision 2042" plan. The program on site includes the preservation of a corporate office component, with surrounding single-family attached townhomes, multifamily, retail space, commercial space, and hospitality space. This is all oriented around a centralized green space and mixed-use buildings at the village core. Additionally, the site provides residents and pedestrians ample community amenities in the form of structured (pool, pickleball) and unstructured (pocket park, community green, pedestrian paths) outdoor recreation opportunities.

Prospect Park Comprehensive Plan Compliance:

Prospect Park works to re-imagine the Daphne Innovation + Science Complex (DISC) site to leverage the in-place work to create a new, mixed-use, walkable commercial center for the surrounding residential community. While the proposal still allows for the advanced manufacturing training center, we're now surrounding that with a mix of housing options, from overnight stay (hospitality) to long-term rental to fee simple home ownership. The variety of retail, restaurant, and commercial office opportunities will help make this area a thriving LIVE-WORK-PLAY district and offer onsite residents and nearby property owners a different living experience than is currently offered in Daphne. The planning aims to infill the wide boulevard streets with on-street parking broken by street tree wells to create an inviting pedestrian zone where residents and visitors can enjoy the community greens, parks, and walking paths that weave through and around the site.

Public/Private Benefits:

- Creation of public realm (walkable streets and public greens) for events and community gatherings. This includes a 1 acre centralized green area / public park to be constructed by the Developer and utilized by the general public.
- Developer to construct a ½ acre, four court, pickleball facility to be utilized as an amenity to the site and open to the general public.
- Improvement of the Champion's Way street frontage with landscaping, sidewalk, and street trees.
- Improved pedestrian connectivity by connecting the pedestrian circulation network around and through the site.
- Creation of a new neighborhood commercial district to compliment Olde Towne Daphne and serve the residential development on the east side of the city.
- Improved traffic flow and mitigation of traffic impacts to 181 by connecting the Church of the Highlands property back to Champion's Way through this site. 68 Ventures entered into a Tri-Party agreement with the Church and IDB, in which 68 Ventures provides an access and construction easement on the Prospect Park site allowing the Church to construct the connection road at their expense.
- 7.3 acres of tree save of 20-48" caliper trees existing on site.
- Prospect Park will be a tremendous source of tax revenue to the City of Daphne through sales taxes generated by the commercial spaces, as well as through lodging tax generated by the hotel.

Land Use Summary:

- Of the 59.81-acre DISC property, the land use is very consistent of a mixed-use project, depending heavily on housing, commercial/retail, and open space. The proposed uses are outlined below:
- Multifamily/Mixed-use 22.00 AC
- Open space: 15.61 AC
- Commercial: 12.30 AC
- Townhouse Lots: 7.20 AC
- Hospitality: 2.70 AC
- Total acreage 59.81AC

Bulk and Density:

(See Phase & Density Map for block density and anticipated heights.)

- Transect Zone 4 – Urban residential.
 - Will abide by side and rear yards requirements of the B-3 zoning. The front yard requirement would not be compliant.
 - Lot Coverages and building heights would also abide by the underlying zoning.
- Transect Zone 5 – Urban Center.
 - Will abide by side and rear yards requirements of the B-3 zoning. The front yard requirement would not be compliant.
 - Lot Coverages would also abide by the underlying zoning.
 - All structures would be compliant with a 4-story height limitation (with the understanding that a basement level with half or more of it's elevation below grade would not be counted as a story)
 - The three 4-story structures listed as 4-story would not be compliant with the 50' height limitation in B-3 zoning.
 -

Signage:

(See architectural guidelines for additional information.)

- Signage allowances in this PUD are more restrictive than the signage ordinance currently in place for the City of Daphne. All commercial tenants complying with our signage regulations will by correlation be complying with City of Daphne's signage ordinance.

Streets, Drainage and Utilities :

All streets and drainage are currently designed, approved, and installed. As a part of this proposal, we propose to leave the majority of the existing systems in place and perform any needed minor modifications to the roadways within the existing curbs, being mindful to avoid major impacts to the existing storm sewers as much as possible. On the northeast corner, where we have added property not originally a part of the site, we will extend the roads, sewers, and add detention as need to accommodate the additional development.

On-site Parking Controls: Development team will work with City of Daphne to strategize and implement a parking control strategy that benefits residents, visitors, and the city in the long term.

Existing Infrastructure: Development team assumes that roadways in place are designed to meet local fire code (i.e. traffic-rated) for emergency response. The change from office to residential loading should not affect the adequacy of the infrastructure design. The TIA and future soils testing will verify both assumptions and, if those reports necessitate changes to the existing infrastructure, development team will work with City of Daphne to make those adjustments.

BMPs:

Design of infrastructure, any needed improvements, and all environmental protections shall be provided during site plan review. The site development will meet all city site plan requirements.

All city requirements for site plan approval, including CBMPP shall be met. All pertinent requirements of the city code including but not limited to Section 18-6 of the City of Daphne Land Use & Development Ordinance will be met unless specifically stated otherwise in this proposal.

Landscaping:

Champion's Way: Champions Way will be lined with street trees and a walking trail to make sure it provides complimentary character as the subdivision across the street. The commercial buildings fronting Champions Way will maintain a high aesthetic and appearance of facing outwards toward the road.

Existing Mature Tree Canopy: The intent of the existing mature tree canopy areas are to leave them as undisturbed as possible. These areas contain heritage trees, topography, and a small area of wetlands (in the southwest corner) that we are preserving.

Parking :

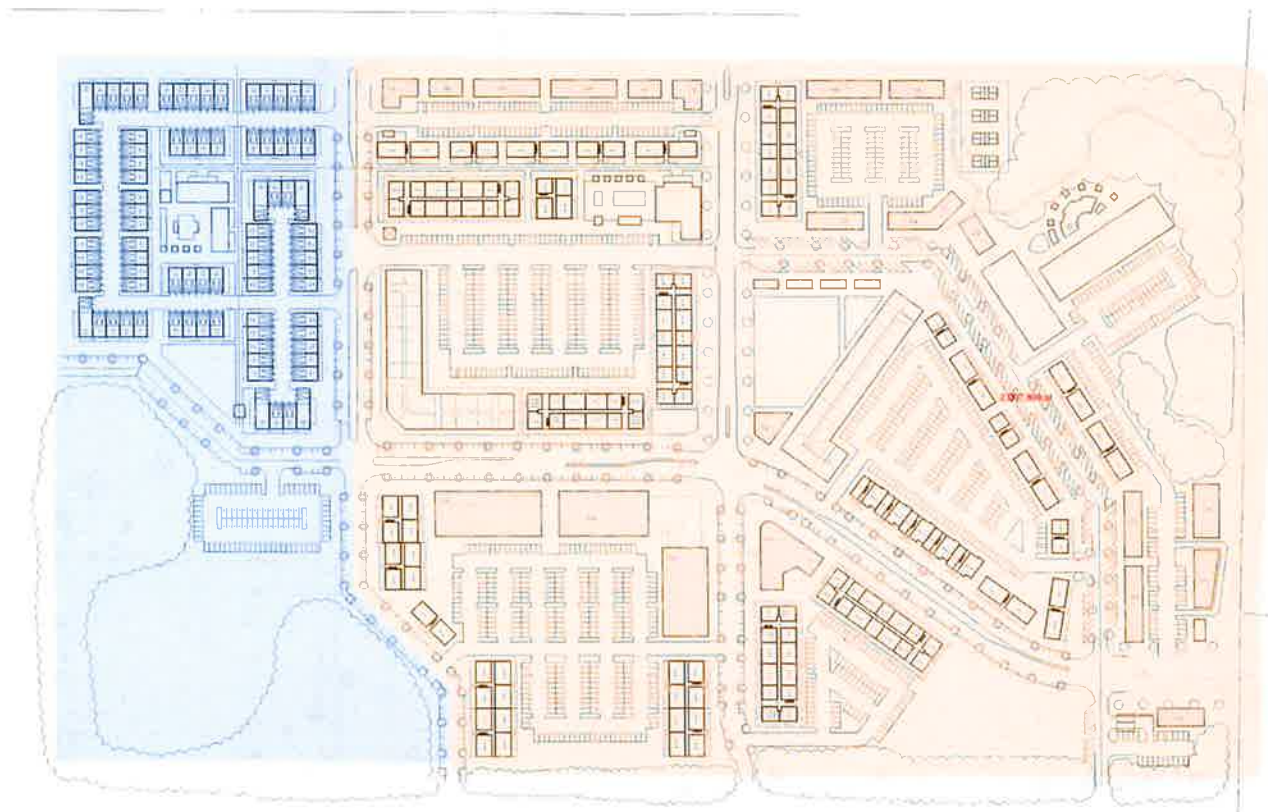
- Development team will work with City of Daphne to implement a parking control strategy that benefits residents, visitors, and City in the long term.
- All Townhouse Residences will provide two spaces per unit, with additional guest parking provided on-street.
 - Multi-Family units will have 2.0 spaces per unit.
 - Hospitality will park at 1.0 space per key.
 - Retail will park at 4 spaces per 1,000 net square feet.
 - Office space will park at 3 spaces per 1,000 net square feet.All parking on-site will have shared parking factors applied on a per phase/ per block basis.

Development Schedule:

(See Phase & Density Map for phase limits and use allocations.)

- Phases A & B will be the first phases to be developed and are expected to commence once all entitlements are in place.
- Phase C – successive phase; development will commence as commercial and multifamily delivered in phase B are stabilized.
- Phase D – successive phase; development will depend on hospitality demand.
- Phase E & F – successive phase; development will commence as retail tenants are identified.

- Phase G – successive phase; construction will commence as soon as an agreement is in place with Novelis for National Training Center and/or other corporate office tenant leases signed.



SITE LEGEND	
	T4 - URBAN RESIDENTIAL
	T5 - URBAN CENTER

PROSPECT PARK TRANSECT MAP
SCALE 1" = 100'-0"



VICINITY MAP
N.T.S.



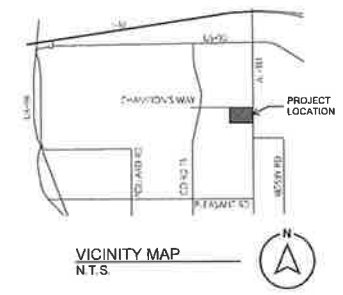


SITE LEGEND

- AMENITY BUILDINGS / PAVILIONS
- TOWNHOUSE LOT (TOTAL OF 87)
- HOSPITALITY (135 KEYS @ 4 STORIES)
- MARKET RATE MULTIFAMILY (620 DU)
- COMMERCIAL SPACE 86,500 GSF (WITHOUT HOSPITALITY)
- CORPORATE OFFICE 120,000 GSF

PROPOSED PARKING

PARKING LOAD FACTORS	
182 FAMILY DU	2 / UNIT
MULTIFAMILY	2 / UNIT
HOSPITALITY	1.0 / UNIT
COMMERCIAL	4 / 1,000 GSF
CORPORATE OFFICE	3 / 1,000 GSF
PARKING REQUIRED	
SF ATTACHED	174 STALLS
HOSPITALITY	135 STALLS
MULTIFAMILY	1,240 STALLS
COMMERCIAL	346 STALLS
CORPORATE OFFICE	360 STALLS
TOTAL	2,255 STALLS
(SHARED PARKING)	1,755 STALLS
PARKING PROVIDED	
OFF-STREET	1,252
ON-STREET	363
GARAGE	174
TOTAL STALLS	1,789



APPENDIX

COMMUNITY GUIDELINES FOR



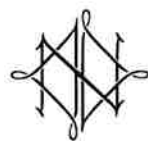
DEVELOPER:

68Venturës

707 Belrose Ave, Daphne, AL 36526
251-625-1198



PREPARED BY:



NEQUETTE
ARCHITECTURE & DESIGN

MAY 2024

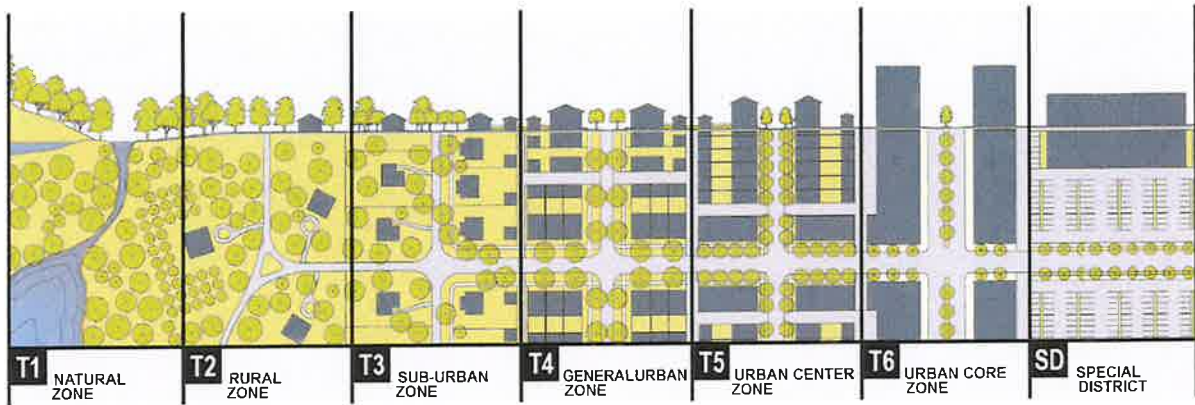
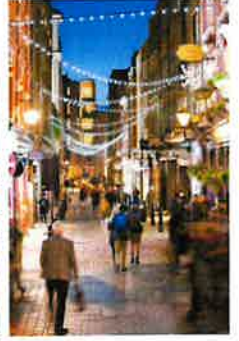


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A. Preface-

The Prospect Park Design Guidelines address the overall planning, architectural, aesthetics and sustainability concepts established for all neighborhood plans, new buildings, building additions, site-work, landscaping and signage. These guidelines contain information that inform, guide and govern Prospect Park's overall design and character. The purpose of these guidelines is to facilitate the crafting of a memorable community with a high level of predictability and enduring value. These guidelines are based on well established architectural and town planning traditions commonly found in our most beloved American towns. These thoughtful traditions form the basis of street and open space layout and design, mixture of uses, building placement, and architectural standards found herein.

City of Daphne Zoning Ordinances should continue to be applicable to issues not covered by these guidelines. All designs must be compliant with applicable government zoning codes. In case of contradiction with local ordinance, these guidelines shall be adjusted in collaboration with City of Daphne Planning Commission & the Prospect Park Design Review Committee.

Owners are responsible for complying with all local, state and federal codes, and for obtaining permits from those relevant agencies.

B. Project Narrative- Not used, see Executive Summary

C. City Comprehensive Plan- Not used, see Executive Summary

Transect Zones:

The Transect, as a framework, identifies a range of habitats from the most natural to the most urban. Its continuum, when subdivided, lends itself to the creation of zoning categories. These categories include standards that encourage diversity similar to that of organically evolved settlements. The standards overlap (they are parametric), reflecting the successional ecotones of natural and human communities. The Transect thereby integrates environmental and zoning methodologies, enabling environmentalists to assess the design of social habitats and urbanists to support the viability of natural ones.

- T-4 General Urban Zone consists of a mixed use but primarily residential urban fabric. It may have a wide range of building types: single, sideyard, and rowhouses. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks.
- T-5 Urban Center Zone consists of higher density mixed use building that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks.

TABLE 1. TRANSECT ZONE DESCRIPTIONS

TABLE 1: Transect Zone Descriptions. This table provides descriptions of the character of each T-zone.

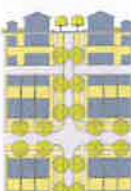
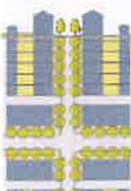
T4 	T-4 GENERAL URBAN T-4 General Urban Zone consists of a mixed use but primarily residential urban fabric. It may have a wide range of building types: single, sideyard, and rowhouses. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks.	General Character: Mix of Houses, Townhouses & small Apartment buildings, with scattered Commercial activity; balance between landscape and buildings; presence of pedestrians Building Placement: Shallow to medium front and side yard Setbacks Frontage Types: Porches, fences, Dooryards Typical Building Height: 2-Story Type of Civic Space: Squares, Greens
T5 	T-5 URBAN CENTER T-5 Urban Center Zone consists of higher density mixed use building that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks.	General Character: Shops mixed with Townhouses, larger Apartment houses, Offices, workplace, and Civic buildings; predominantly attached buildings; trees within the public right-of-way; substantial pedestrian activity Building Placement: Shallow Setbacks or none; buildings oriented to street defining a street wall Frontage Types: Stoops, Shopfronts, Galleries Typical Building Height: 1-4 Story with some variation Type of Civic Space: Parks, Plazas and Squares, median landscaping

TABLE 12. SPECIFIC FUNCTION & USE

TABLE 12: Specific Function & Use. This table expands the categories of Table 10 to delegate specific Functions and uses within Transect Zones. Table 12 should be customized for local character and requirements.

	T4	T5
a. RESIDENTIAL		
Mixed Use Block		■
Flex Building		■
Apartment Building		■
Live/Work Unit		
Row House	■	■
Duplex House	■	■
Courtyard House		
Sideyard House		
Cottage	■	
House		
Villa		
Accessory Unit		
b. LODGING		
Hotel (no room limit)		■
Inn (up to 12 rooms)		■
Bed & Breakfast (up to 5 rooms)		■
S.R.O. hostel		□
c. OFFICE		
Office Building		■
Live-Work Unit		■
d. RETAIL		
Open-Market Building		■
Retail Building		■
Display Gallery		■
Restaurant		■
Kiosk		■
Push Cart		□
Liquor Selling Establishment		□
e. CIVIC		
Conference Center		□
Fountain or Public Art	■	■
Library		■
Live Theater		■
Movie Theater		■
Museum		□
Outdoor Auditorium		■
Parking Structure		■
Passenger Terminal		□
Playground	■	■
Surface Parking Lot	■	□
Religious Assembly		■

■ Permitted
 □ Conditional Use

Form-based Code Graphics Table 15B- T4

**L. BUILDING FUNCTION** (see Table 10 & Table 12)

Residential	limited use
Lodging	limited use
Office	limited use
Retail	limited use

k. BUILDING CONFIGURATION (see Table 8)

Principal Building	2-story & 35'
Outbuilding	2 stories max.

f. LOT OCCUPATION (see Table 14f)

Lot Width	18 ft min 96 ft max
Lot Coverage	70% max

i. BUILDING DISPOSITION (see Table 9)

Edgeyard	permitted
Sideyard	permitted
Rearyard	permitted
Courtyard	not permitted

g. SETBACKS - PRINCIPAL BUILDING (see Table 14g)

(g.1) Front Setback Principal	6 ft. min. 18 ft. max.
(g.2) Front Setback Secondary	6 ft. min. 18 ft. max.
(g.3) Side Setback	0 ft. min.
(g.4) Rear Setback	3 ft. min.*
Frontage Buildout	60% min at setback

h. SETBACKS - OUTBUILDING (see Table 14h)

(h.1) Front Setback	20 ft. min. + bldg. setback
(h.2) Side Setback	0 ft. min. or 3 ft at corner
(h.3) Rear Setback	3 ft. min

j. PRIVATE FRONTAGES (see Table 7)

Common Lawn	not permitted
Porch & Fence	permitted
Terrace or L.C.	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	not permitted

PARKING PROVISIONS

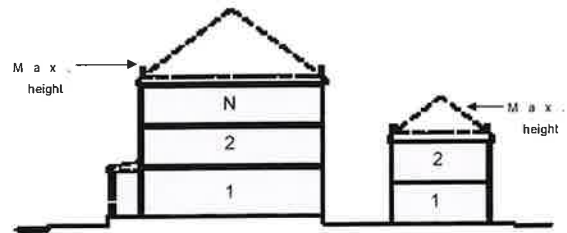
See Table 10 & Table 11

*or 15 ft. from center line of alley

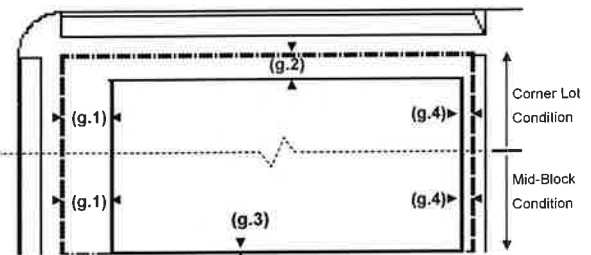
"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums

BUILDING CONFIGURATION

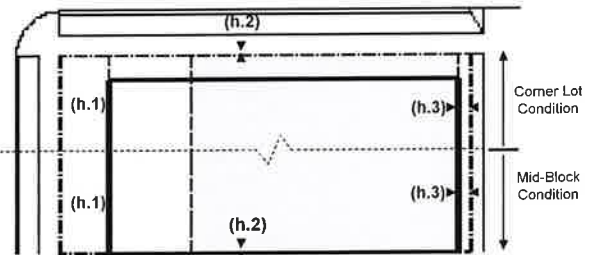
1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck as specified on Table 8.

**SETBACKS - PRINCIPAL BLDG**

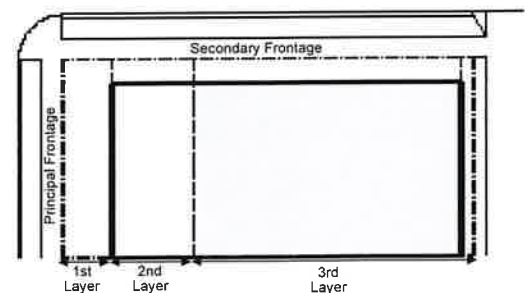
1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.

**SETBACKS - OUTBUILDING**

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.

**PARKING PLACEMENT**

1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 17d).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 17d).
3. Trash containers shall be stored within the third Layer.



Form-based Code Graphics Table 15C- T5

**I. BUILDING FUNCTION** (see Table 10 & Table 12)

Residential	open use
Lodging	open use
Office	open use
Retail	open use

k. BUILDING CONFIGURATION (see Table 8)

Principal Building	4 stories max. 65' max.
Outbuilding	2 stories max.

f. LOT OCCUPATION (see Table 14f)

Lot Width	18 ft min 180 ft max
Lot Coverage	80% max

i. BUILDING DISPOSITION (see Table 9)

Edgeyard	not permitted
Sidyard	permitted
Rearyard	permitted
Courtyard	permitted

g. SETBACKS - PRINCIPAL BUILDING (see Table 14g)

(g.1) Front Setback Principal	2 ft. min. 12 ft. max.
(g.2) Front Setback Secondary	2 ft. min. 12 ft. max.
(g.3) Side Setback	0 ft. min. 24 ft. max.
(g.4) Rear Setback	3 ft. min.*
Frontage Buildout	80% min at setback

h. SETBACKS - OUTBUILDING (see Table 14h)

(h.1) Front Setback	40 ft. max. from rear prop.
(h.2) Side Setback	0 ft. min. or 2 ft at corner
(h.3) Rear Setback	3 ft. max.

j. PRIVATE FRONTAGES (see Table 7)

Common Lawn	not permitted
Porch & Fence	not permitted
Terrace or L.C.	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	permitted

PARKING PROVISIONS

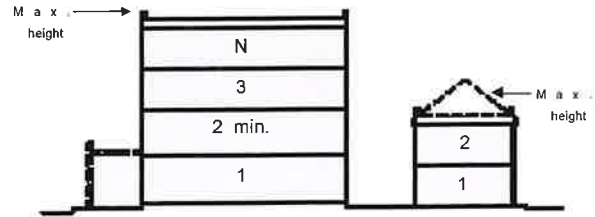
See Table 10 & Table 11

*or 15 ft. from center line of alley

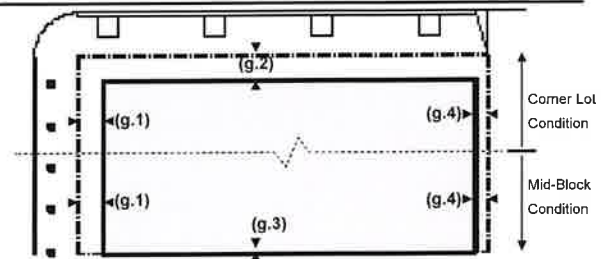
"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums

BUILDING CONFIGURATION

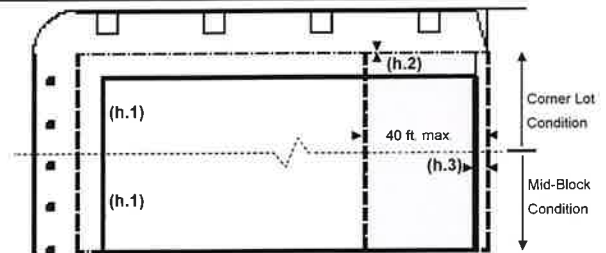
1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck as specified on Table 8.
4. Expression Lines shall be as shown on Table 8.

**SETBACKS - PRINCIPAL BLDG**

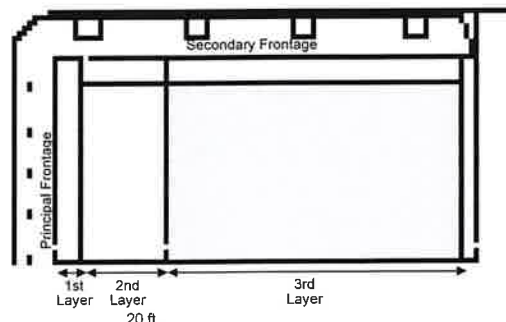
1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.

**SETBACKS - OUTBUILDING**

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.

**PARKING PLACEMENT**

1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 17d).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 17d).
3. Trash containers shall be stored within the third Layer.

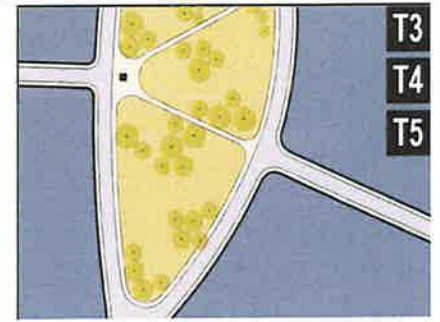


E. Open Spaces

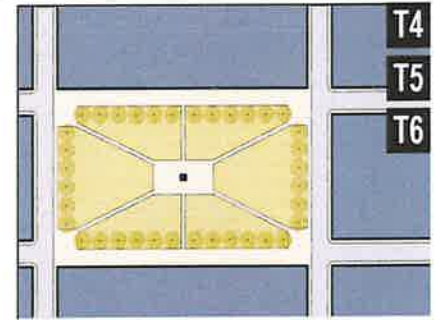
The design of Prospect Park allows for significant areas dedicated to open greens and natural areas. Roads and home sites are located to take advantage of long and short views and existing topography. Multi-use and navigable open space as well as a comprehensive sidewalk layout encourages exploration throughout the community to be utilized by all generations. The community landscape plan is influenced by the multiple natural areas, creating appropriate transitions between the public realm and private spaces. The network of parks and greens help provide walkable destinations that connect neighbors to neighborhoods. The sidewalks and greens work together as an extensive network of pedestrian pathways keeping everyday connections a reality.

Open Space Types

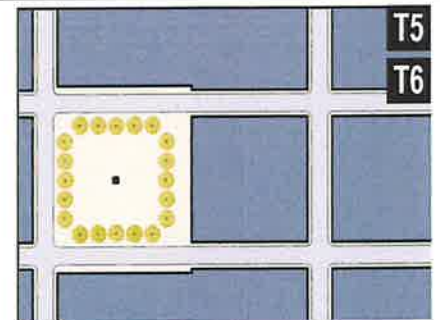
1. Green: An Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 1/2 acre and the maximum shall be 8 acres.



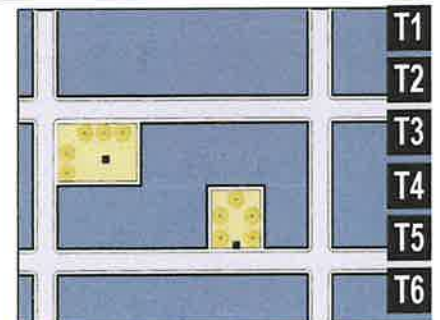
2. Square: An Open Space, available for unstructured recreation and Civic purposes. A Square is spatially defined by building frontages. Its landscape shall consist of sidewalks, paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.



3. Plaza: An Open Space, available for Civic purposes and Commercial activities. A Plaza shall be spatially defined by building frontages. Its landscape shall consist primarily of hardscape being cobblestone, bricks or pavement. Trees when applicable should be a part of the design. Plazas should be located at the intersection of important streets. The minimum size shall be 1/2 acre and the maximum shall be 2 acres.



4. Playground: An Open Space designed and equipped for the recreation of children. A playground should be fenced and may include an open shelter. Playgrounds shall be interspersed within residential areas and may be placed with a block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.



5. Existing Mature Landscaping to Remain: Environmentally sensitive areas close to drainageways, within the buffers, and within the most extreme topographical areas would be protected. The edges of the wooded areas outside the buffers will be groomed and made accessible, invasive species removed and replaced with native plantings. These areas will be maintained in perpetuity similar to the other landscaping proposed within the other areas on-site.

TABLE 3A: Vehicular Lane Dimensions. This table assigns lane widths to Transect Zones. The Design ADT (Average Daily Traffic) is the determinant for each of these sections. The most typical assemblies are shown in Table 3B. Specific requirements for truck and transit bus routes and truck loading shall be decided by Warrant.

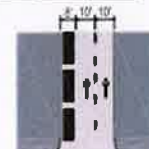
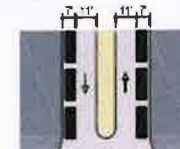
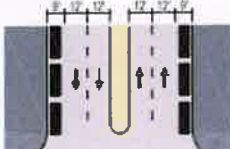
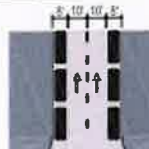
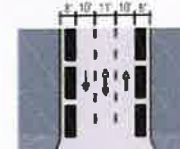
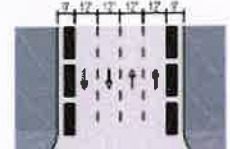
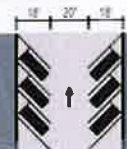
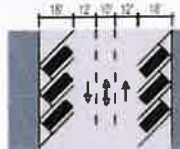
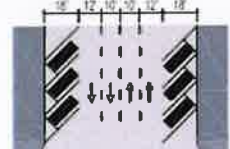
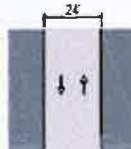
DESIGN SPEED		TRAVEL LANE WIDTH		T4	T5
Below 20 mph	8 feet	□			
20-25 mph	9 feet	■	□		
25-35 mph	10 feet	■	■		
25-35 mph	11 feet		■		
Above 35 mph	12 feet		■		

DESIGN SPEED		PARKING LANE WIDTH			
20-25 mph	(Angle) 18 feet		■		
20-25 mph	(Parallel) 7 feet	■			
25-35 mph	(Parallel) 8 feet	■	■		
Above 35 mph	(Parallel) 9 feet		■		

DESIGN SPEED		EFFECTIVE TURNING RADIUS		See Table 17b	
Below 20 mph	5-10 feet	■	■		
20-25 mph	10-15 feet	■	■		
25-mph	15-20 feet	■	■		
Above 35 mph	20-30 feet		□		

■ Permitted
□ Conditional Use

TABLE 3B: Vehicular Lane/Parking Assemblies. The projected design speeds determine the dimensions of the vehicular lanes and Turning Radii assembled for Thoroughfares.

a.	YIELD PARKING	T3 T4		T3 T4							
		1,000 VPD 5 Seconds		1,000 VPD 7 Seconds							
b.	PARKING ONE SIDE PARALLEL	T3 T4		T3 T4 T5		T4 T5		T4 T5 T6		T5 T6	
		5,000 VPD 5 Seconds 20-30 MPH		18,000 VPD 8 Seconds		16,000 VPD 8 Seconds 25-30 MPH		15,000 VPD 11 Seconds 25-30 MPH		32,000 VPD 13 Seconds	
c.	PARKING BOTH SIDES PARALLEL	T4		T4 T5 T6		T4 T5 T6		T5 T6		T5 T6	
		8,000 VPD 7 Seconds Below 20 MPH		20,000 VPD 10 Seconds 25-30 MPH		15,000 VPD 10 Seconds 25-30 MPH		22,000 VPD 13 Seconds 25-30 MPH		32,000 VPD 15 Seconds 35 MPH and above	
d.	PARKING BOTH SIDES DIAGONAL	T5 T6		T5 T6		T5 T6		T5 T6		T5 T6	
		18,000 VPD 15 Seconds Below 20 MPH		20,000 VPD 17 Seconds 20-25 MPH		15,000 VPD 17 Seconds 20-25 MPH		22,000 VPD 20 Seconds 25-30 MPH		31,000 VPD 23 Seconds 25-30 MPH	
e.	PARKING ACCESS			T3 T4		T5 T6					
				3 Seconds		6 Seconds					

G. Private Frontages (Table 7)

The area between the building facades and the lot lines.

1. **Porch & Fence:** a planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch permitted to Encroach. A fence at the Frontage Line maintains street spatial definition. Porches shall be no less than 8 feet deep.

2. **Terrace or Lightwell:** a Frontage wherein the Facade is set back from the Frontage line by an elevated terrace or a sunken Lightwell. This type buffers Residential use from urban Sidewalks and removes the private yard from public Encroachment. Terraces are suitable for conversion to outdoor cafes. Syn: **Dooryard.**

3. **Forecourt:** a Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The Forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other Frontage types. Large trees within the Forecourts may overhang the Sidewalks.

4. **Stoop:** a Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use.

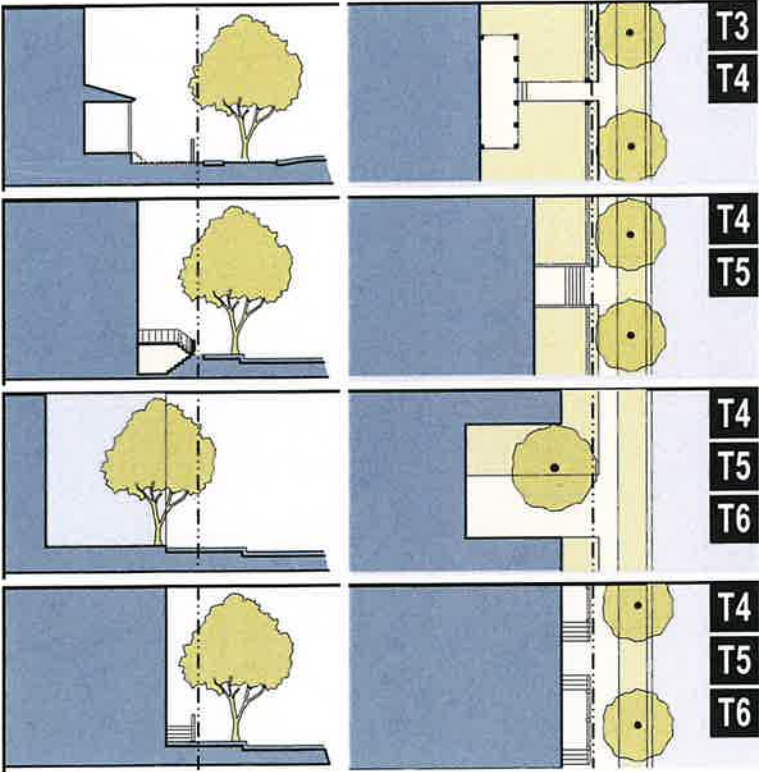
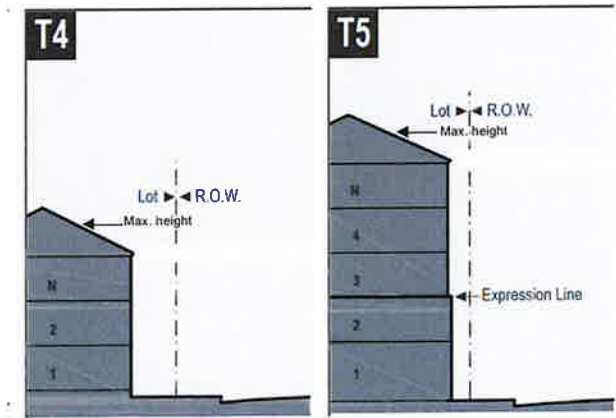


TABLE 8. BUILDING CONFIGURATION

TABLE 8: Building Configuration. This table shows the Configurations for different building heights for each Transect Zone. It must be modified to show actual calibrated heights for local conditions. Recess Lines and Expression Lines shall occur on higher buildings as shown. N = maximum height as specified in Table 14k.



H. Building Disposition (Table 9)

The table approximates the location of the structure relative to the boundaries of each individual lot, establishing suitable basic building types for each Transect Zones.

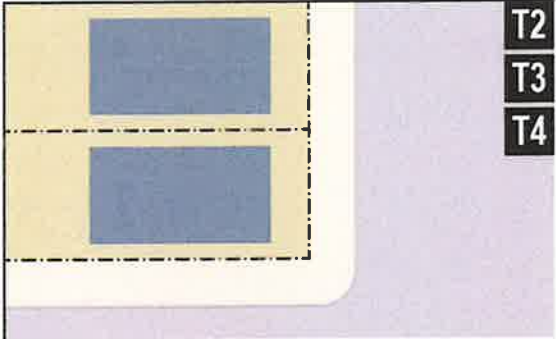
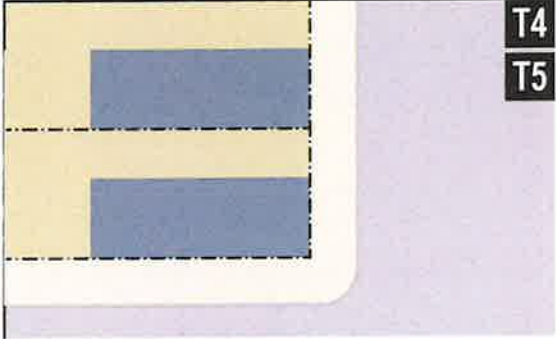
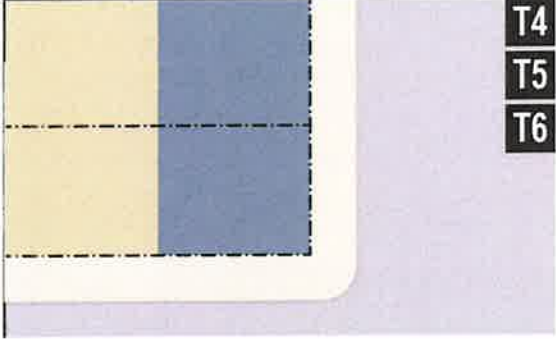
a. Edgeyard: Specific Types - single family House, cottage, villa, estate house, urban villa. A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.	 T2 T3 T4
b. Sideyard: Specific Types - Charleston single house, double house, zero lot line house, twin. A building that occupies one side of the Lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank side wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a twin or double House. Energy costs, and sometimes noise, are reduced by sharing a party wall in this Disposition.	 T4 T5
c. Rearyard: Specific Types - Townhouse, Rowhouse, Live-Work unit, loft building, Apartment House, Mixed Use Block, Flex Building, perimeter Block. A building that occupies the full Frontage, leaving the rear of the Lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking.	 T4 T5 T6
d. Courtyard: Specific Types - patio House. A building that occupies the boundaries of its Lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.	 T5 T6

TABLE 5: Public Lighting. Lighting varies in brightness and also in the character of the fixture according to the Transect. The table shows five common types. A listed set of streetlights corresponding to these types would be approved by the utility company and listed on the page.

	T4	T5	Specifications
Post 			
Column 			
Double Column 			

J. Pattern Book - Architectural Styles

Architectural Diversity Principles:

Objective: To foster a vibrant and engaging community environment through architectural diversity and variation, enhancing aesthetic appeal and creating a distinctive sense of place.

1. Varied Facade Designs:

Buildings on a block to have diverse material palettes and detailing for primary and secondary facades to create visual interest.

Minimum of three different facade treatments (e.g., brick, stucco, siding) within each block to prevent uniformity.

Variation from adjacent buildings in window patterns and/or door placements to ensure no two adjacent buildings have identical facades.

2. Color Diversity:

Identical color schemes for adjacent buildings is prohibited. Palette of complementary but distinct colors is encouraged.

3. Roofline Variation:

Design buildings with varied rooflines and heights to avoid a monotonous skyline. A variety of pitched, flat, and gabled roofs within each block is required.

Each building incorporates features such as dormers, skylights, and parapets to enhance roofline diversity. Roof features must not be identical to adjacent buildings.

4. Landscape and Hardscape Differentiation:

Each lot to have unique landscaping and hardscaping elements, including varied plant species, paving materials, and garden layouts.

Design communal spaces with distinct character zones, such as playgrounds, plazas, and seating areas, to create diverse interaction spaces.

5. Architectural Element Variation:

Each building must incorporate architectural elements such as balconies, overhangs, and awnings, with variations (from adjacent buildings) in their design and placement.

Different architectural details (e.g., trim, molding, and ornamentation) to enhance individuality (of adjacent buildings) while maintaining overall harmony is required.

6. Contextual Design:

Repetitive architectural solutions are not allowed. Designs should contribute positively to the community's evolving identity.

By implementing these guidelines, we aim to create a dynamic and visually stimulating environment that reflects a rich tapestry of architectural expressions and fosters a unique and engaging community atmosphere.

Modern Farmhouse (Simple forms and detailing, cleaner lines)

The farmhouse design style has its roots in actual farmhouses or shelters that were typically built by using local or regional construction techniques with readily available materials. Though homes on farmlands have existed for as long as farmers have, many attribute the traditional farmhouses in Europe from the 16th and 17th centuries serve as the inspiration for this specific aesthetic. The modern farmhouse style embraces the longtime staples like shiplap walls, open shelving, wide-plank hardwood floors, apron front sinks—while peppering in modern-day elements that lend the look a more contemporary, think steel-frame windows, black metal roof, clean-lined industrial light fixtures, covered porches and steep gables. Modern farmhouse evokes feelings of warmth and comfort.

While the classic farmhouse style evokes homesteads with plenty of vintage furnishings and traditional fabrics, the modern farmhouse style is a bit less rustic. It adds more contemporary touches, such as a neutral color scheme and smooth lines. Modern farmhouse is all about mixing comfortable furniture with salvaged materials, such as reclaimed wood.

Antiques are at home in modern farmhouse interiors, though they shouldn't be too delicate to touch. Everything should be tactile and tangible. Most of all, the modern farmhouse style is cozy without being cluttered.



Modern farmhouse colors are easy on the eyes, effortless, and blend in with the room around it. The best colors are warm and cool neutrals, like cream, beige, brown, gray, white, and natural, earthy tones, like blues, greens, and yellows.

White: Modern farmhouse homes often incorporate white paint, furniture, or accents to make the rooms feel bright and open.

Warm neutrals: Warm neutrals like cream, beige, and brown feel comfortable because they invoke natural skin tones, all with a little yellow undertone. They feel natural, and many can self-identify with these tones.

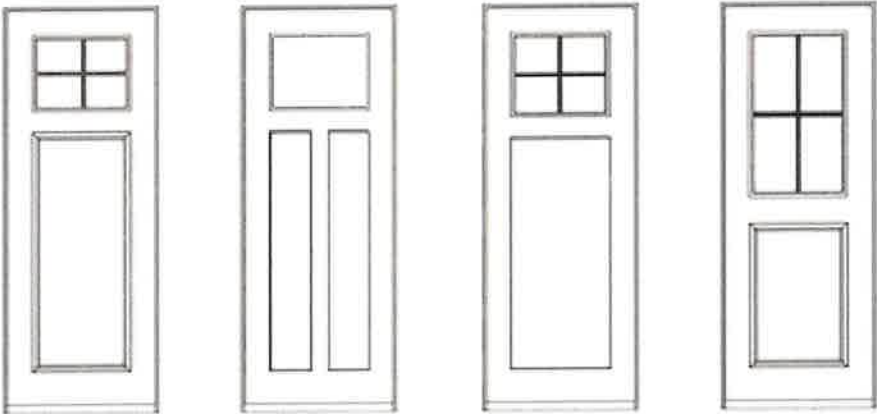
Cool neutrals: Cool neutrals like gray, silver, blue, and light green have a blue undertone. These colors are naturally soothing and serene.

Earthy accents: Nature gives us wood, greenery, changing foliage colors, and ocean and sky blues. These warm woods and deeper reds and oranges are not bold or jarring; they're relaxing, reassuring, and grounding.(used sparingly)

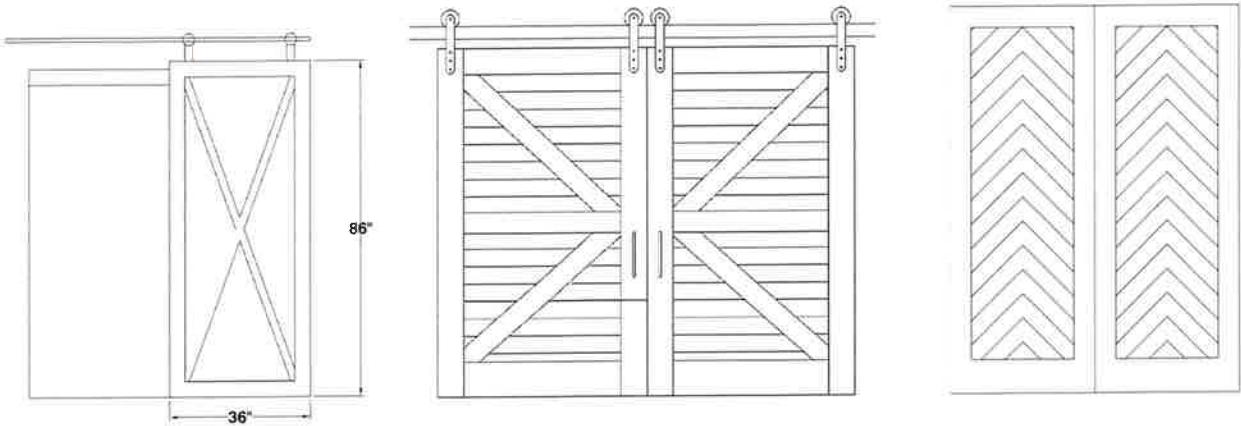
To achieve the modern farmhouse look, start with stark exterior contrasts such as bright white vertical siding with black accents. Black accents are commonly shown through window frames, doors, metal roofing, and barn style outdoor lighting that bring the modern design features to the forefront.

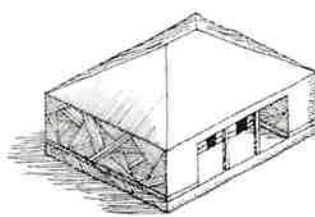
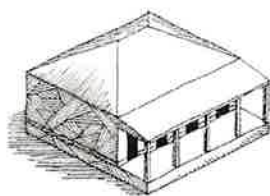
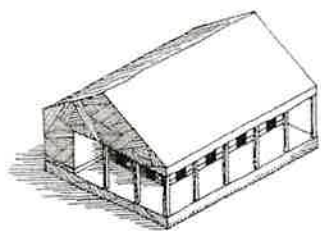


Typically large punched openings, with or without divided lites, vertical proportions for primary openings and allowances for more square proportions when used as clerestory or accent windows.



Solid body wood doors

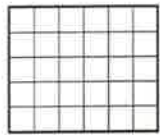
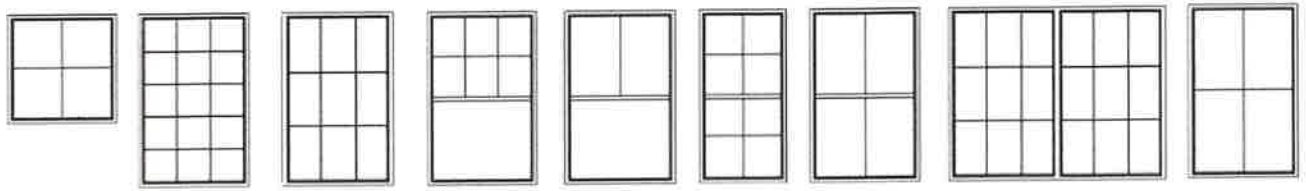




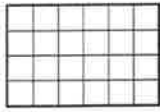
Modern Farmhouse - Windows

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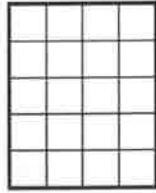
Typically dark bronze or black in color, with thin mutons and square or vertically proportioned divided lites. You can also have white windows with white body siding.



Whale Pass Picture Window



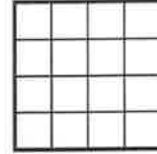
Coffman Cove Picture Window



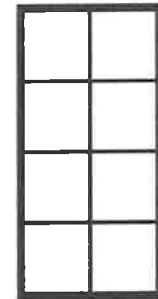
Deck Hand Picture Window



Tundra Picture Window



Captain Picture Window



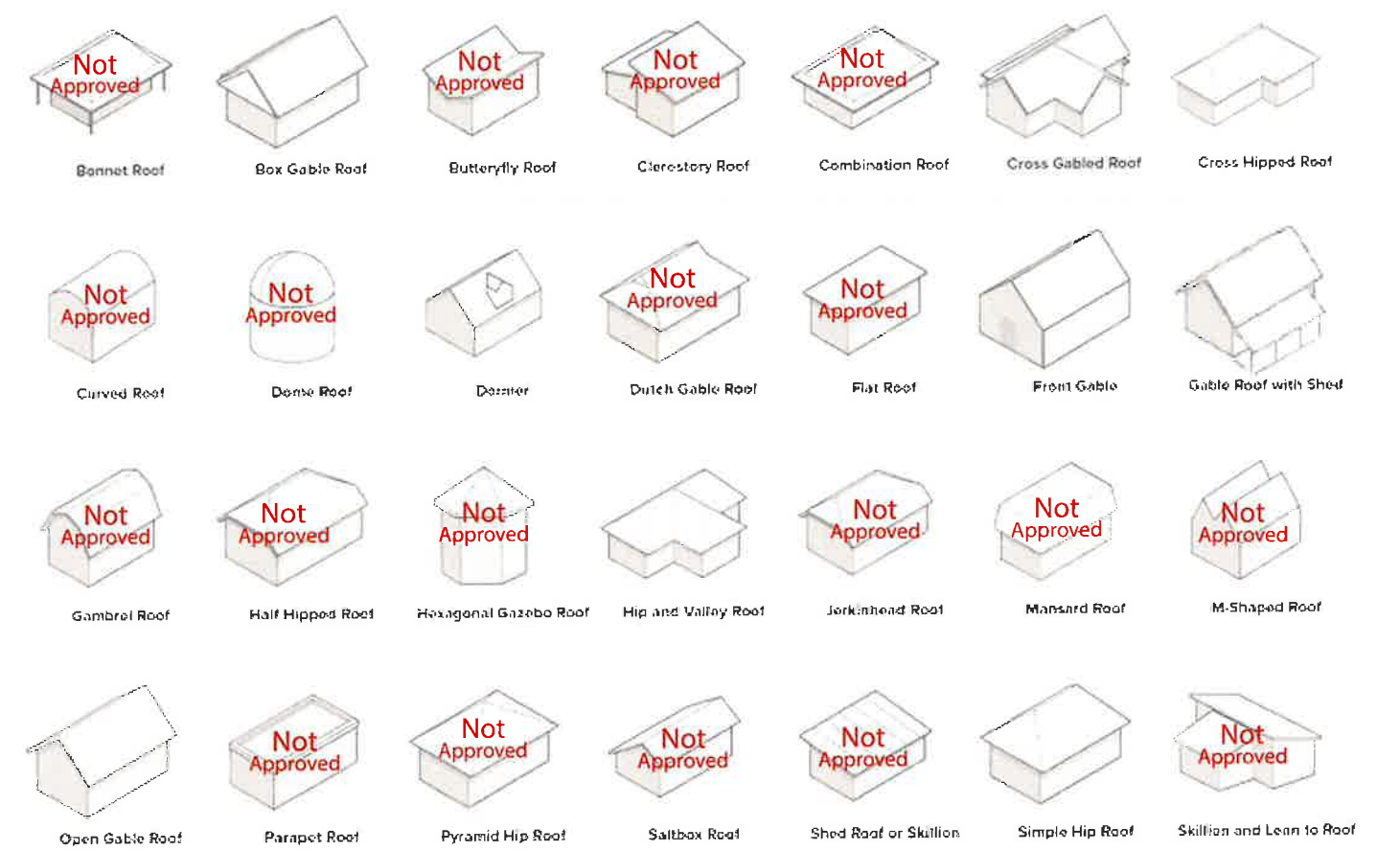
North Point Picture Window



Vista Picture Window



Roof Configurations - no mansard, pent, lean to, dome, or pitches below 12/12 allowed on primary roofs.



Materials - no asphalt shingle, spanish tile, concrete tile, slate or clay tile allowed. Metal roofs and wood shingles are allowed.



1. Wood Siding

Wood siding is an exterior building material or cladding installed on the building's exterior to protect it from different elements. It is one of the most sought-after siding materials for homeowners, especially in conventional architectures like farmhouses or cottages, because of its beautiful, natural appearance, durability, and relatively fair costs.

This type of siding is made of different woods with a wide range of species and grades. The most commonly used woods include cypress, redwood, cedar, fir, spruce, pine, oak, ash, engineered wood, and other trees.

Wood siding is also manufactured in various styles, such as Lap, Clapboard, Drop Channel, Board-and-Batten, Rectangular Planking, Tongue-and-Groove, Split Logs, Shingles and Shakes, Plywood, and Wood sheet.

With proper maintenance, a wood siding may last between 20 to 40 years. It's eco-friendly, easy to install and repair, and can be painted or stained to complement the farmhouse's design but needs regular high maintenance to prevent damages, such as cracks, peels, holes, warps, water seepage, and rots. It's also susceptible to color fading, moisture and mold buildup, and insect damage.

2. Composite Siding

Composite wood is an exterior siding made of scrap wood that's compressed and bonded together with resins. Treated with chemical treatments to ward off fungi and insects, composite often comes pre-primed and ready to paint. It's also available already finished with many styles that mimic real wood.

This type of siding comes in various colors, finishes, sizes, thicknesses, and profile options. It's also available in different styles, including Vertical siding, Horizontal siding, Shake And Shingle Siding, and Insulated Siding.

Depending on several external factors, vinyl siding typically lasts between 20 to 60 years. It's low maintenance, durable, and long-lasting as it weathers extreme elements and is resistant to rust, rot, decay, fire, and insects. However, vinyl siding is prone to dents, scratches, fading, and breakage.

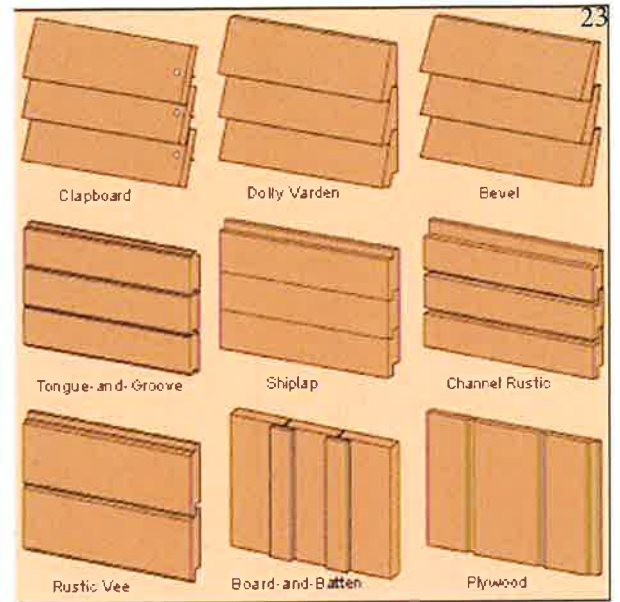
3. Fiber Cement Siding

Fiber cement siding is another exterior building material or semi-rigid siding that's often used in residential houses for protection and enhancing the building's curb appeal. It's made of Portland cement, sand, water, and cellulose fibers or wood pulp into sheets. It's commonly used as an alternative for wood, vinyl, and metal siding.

This type of siding is available in various profiles, textures, and styles and is manufactured in a plank format. In addition, Fiber cement siding can last up to 50 years because of its high durability and can withstand extreme weather conditions.

It's also resistant to fire, pests, rot, and mold and requires minimal maintenance. However, fiber cement siding tends to absorb moisture, is expensive and difficult to install, and is not energy-efficient.





Modern Farmhouse - Lighting



If you want the modern farmhouse style, matte black, bronze or copper wall-mounted barn lights are the perfect option. These come in variety of gooseneck and pendant mounting option. They give the feel of a rustic barn combined with the sleek metal you often find in contemporary design.



Popularized by American furniture manufacturer Gustav Stickley and the Greene brothers, craftsman-style houses first garnered attention in the late 1800's and early 1900's during the Arts and Crafts Movement. The exterior of a Craftsman home typically features low-pitched roofs, overhanging eaves, heavy, tapered columns, patterned window panes and a covered front porch. They are often painted in muted earth tones and common materials range from brick and stone to stucco and wood siding. These houses showcase fine craftsmanship. Interiors have impressive custom millwork like built-in shelving, window seats, reading nooks, mixed metals, and a large fireplace.



Most Common House Type the Bungalow

- Bungalow - A small, usually one-story house, often having a low-pitched roof, having either no upper floor or upper rooms set in the roof with dormer windows, overhanging eaves, and a veranda (porch).
- The Bungalow house style of architecture is a single family house type whose popularity great in the western United States at the turn of the century. Bungalows offered low cost, simple living quarters with an artistic touch to many Americans getting by on modest means.
- The types of bungalows following that definition include the California or Western-style and the Arts & Crafts or Craftsman-style. Certain other subtypes are particularly distinctive and include the Swiss Chalet and Airplane bungalows. Often characteristics are a mashup of influences which contributes to the almost infinite variety of design details.
- While most often made of wood, bungalows incorporate local materials and vernacular building traditions.

Key Exterior Elements:

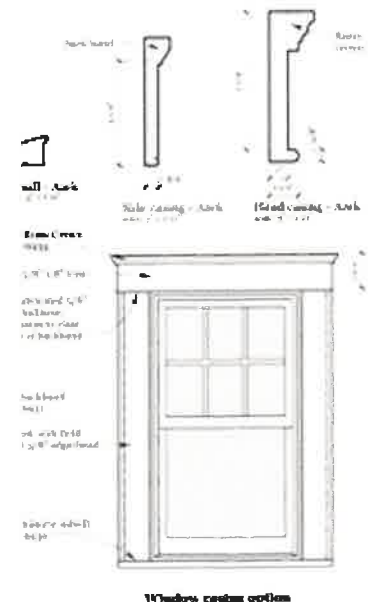
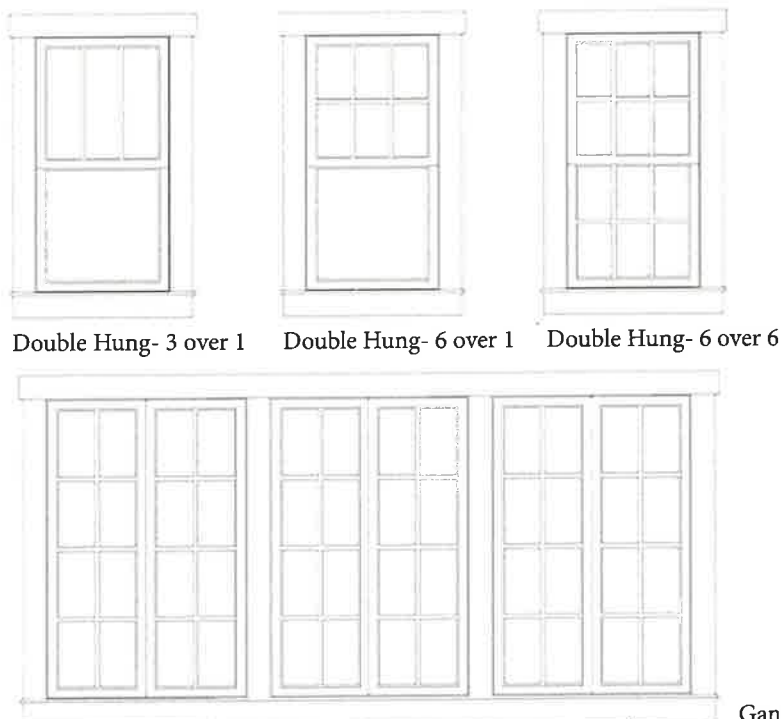
- a. Low pitched, gable roof (occasionally hipped) with wide unenclosed eave overhang
- b. Exposed roof rafter tails
- c. Simplified decorative beams or brackets under gables
- d. One and half stories
- e. Horizontal shape
- f. Porch with thick square or tapered columns
- g. Porch support bases extending to ground level
- h. Wood, stone or stucco siding
- i. Exterior stone chimney
- j. Earth-tone exterior paint and stain colors
- k. Ganged windows



Exterior Materials:

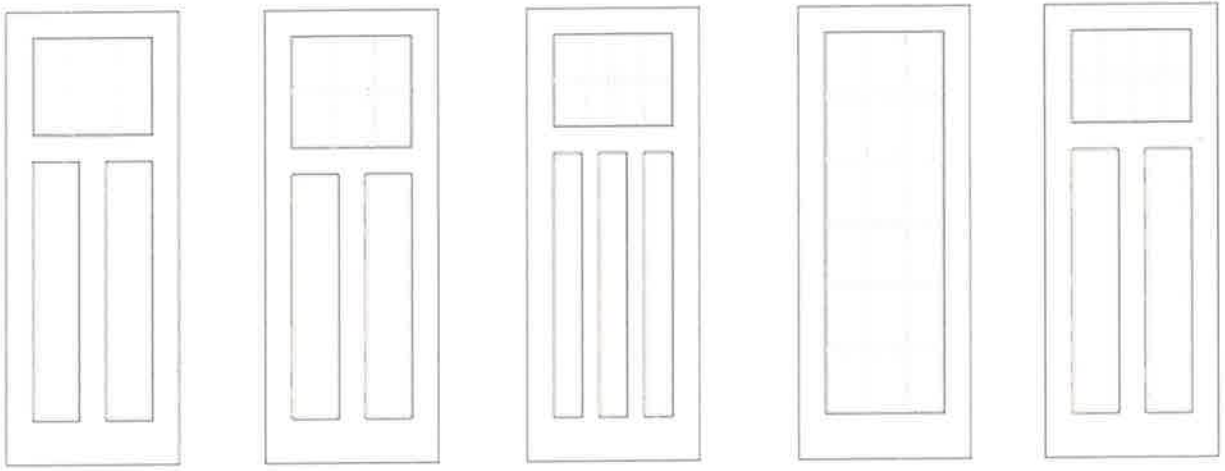
1. Craftsman and Bungalow houses typically have a stone, stucco or brick masonry base with Precast or Concrete copings. At porches stone or masonry piers can be straight or tapered.
2. Siding materials are typical horizontal ship lap siding, stucco or wood cedar shakes.
3. Roofing: Asphalt shingles.
4. Chimney Flues are typically stone, brick masonry veneer or a combination of stone and clinker brick called Peanut Brittle. Chimney flues typically taper or step but are simple forms with simple caps.

Exterior Windows:



Ganged French Casement

Typically dark bronze or black in color, with thin mutons and square or vertically proportioned divided lites. Doors to be made



Organic



Median



Refined





Craftsman - Railings



Fencing Screen Types - A/C Units

28

Metal



NOISE REDUCTION
Our cover helps reduce system noise for a more peaceful environment.

UNIVERSAL FIT
Our collection covers 98% of residential central AC models.

VERSATILE DESIGN
Large selection of modern cover designs.

ANTI RUST
Made of 100% anodized aluminum and stainless steel hardware.



WATER EVACUATION
Discrete coating on front panel for water evacuation.

AIRFLOW
Our innovative design optimizes airflow and system performance.



Wood



The pedestrian scale and unique character of the town center commercial area is key to its continued viability. The Town Center Commercial Building Typology known as Southern Mercantile provided in this section has been developed to maintain this pedestrian scale and unique architecture while allowing for a vibrant and exciting shopping experience unique to the area.

The Town Center Commercial Building Typology is low-scale (1 to 2 story) with engaging street-level storefronts. The massing, materials, and overall design of a commercial building is especially important on the front facade where a high level of pedestrian activity will take place. Town center commercial buildings shall address all the practical needs for the building occupants and its visitors. In a general view, the commercial building appearance is horizontal. It is a smaller scale 1 to 2 story building which can be expanded horizontally to accommodate more utilitarian building types such as restaurants, where large openings engage customers or for al fresco dining. Upon this practical need for visibility, the wonderful creativity of brickwork and wood trim satisfies the more ephemeral need for visual interest, distinction, and beauty. The following pages detail height, massing and orientation standards that govern the Town Center Commercial Buildings and to ensure quality and character.

SOUTHERN MERCANTILE FEATURES

1. Masonry wall construction
2. Flat roof with ornamented parapet
3. Brick and masonry detailing (i.e. corbeling, banding, arches, or decorative motifs)
4. Horizontal/vertical banding of post and lintel structure
5. Large glazed storefront on the street
6. Limestone accents
7. Applied bulkhead letters or a place for mural signage
8. Brick patterned panels, defined column base detailing

*Design should incorporate 4-sided architecture.



TRANSPARENCY & ENTRANCES

- Primary storefront facades shall include traditional facade elements including display windows and the building or stores primary entrance.
- Primary storefront facades shall have a transparency of 40% to 80% of the facade.
- Secondary storefront facades shall have a minimum transparency of 20%.
- Primary internal facades shall have a minimum transparency of 50%.
- Functional windows and openings such as transparent “garage doors” are encouraged for pedestrians on primary internal facades to provide a high level of interior and exterior interaction.
- Secondary internal facades shall have no minimum transparency requirement but are encouraged to incorporate faux openings with opaque glazing.
- Service entrances are encouraged on secondary internal facades with opaque glazing on doors or specialty design doors.
- All storefront glazing surfaces should have metal trim and be divided with mullions between a range of 12” x 18” to 18” x 24” in size.

SYMMETRY

A town center commercial building shall have a structural order guided by the width of the overall building and its division into smaller bays. There is a freedom in the choice and the number of bays which are only limited by the practical requirements of the structure and the overall length of the property.

PROPORTION

A town center commercial building proportions are based upon and generated from very simple formulas and are very responsive to utilitarian necessities (structural spans, column heights, etc). Wall opening dimensions need to honor standard masonry unit sizes, minimizing awkward material cuts and misaligned openings. Building corners should maintain a 24” solid surface before the introduction of any glazing to better ‘carry’ the building. The overall goal of the style should be an appearance of solid simplicity.

FLAT ROOF MASSING

Building shall be 1 to 2 stories (Maximum height of 28’ for single story) Parapets must extend a minimum of 5’ above the top of the roof structure to ensure that all rooftop equipment is hidden from public view. Parapets must occur within the maximum building height. Buildings are not required to have a cornice/eaves line distinct from the top of the parapet. All rooftop equipment shall fall within the permissible roof heights, be located away from the building edge or areas exposed to the public street, and otherwise be screened from view from adjacent public streets or be incorporated into the skin of the building or internal to the block. Access to rooftop equipment shall be internal to the building. Conduits and other external service equipment shall be painted to match the color of the building.



Southern Mercantile

ROOFTOP AMENITIES

Rooftop amenities are encouraged in the commercial area.

Railings and or parapets shall enclose rooftop amenities.

Railings visible from the street shall be of a transparent or majority-open design such as glass, cabling, picket, or other similar types of railings.

Rooftop amenities shall be architecturally integrated to the building, and its materials and colors shall be compatible with the building design.

The height of the rooftop amenity shall not exceed 15 ‘ or the height of the story immediately below the rooftop.

BAY RHYTHMS

Differentiated bays should be expressed on each facade of a building or store space directly fronting a public space or street.

Bays shall be a minimum of 20’ and a maximum of 30’ wide on primary storefront facades.

FACADE MATERIALS

Wall materials: brick (including washed and painted), stone, stucco

Trim/accent materials: brick, cast stone, wood

Wall material percentages for overall building:

Brick: 80-100%

Stone: up to 80-100%

Stucco: up to 80-100%



AWNINGS

Awnings can range from flat metal planes held out from the wall surface by links or chains to soft, striped, curved canopies that move in the breeze. There are no hard and fast typical rules for such a variety of design possibilities, hard or soft, shallow or deep, low or high pitch, sign or no sign, but the awning should relate to and enhance to overall building composition. Once awnings fade or split from age/elements they must be replaced.



SIGNAGE

Primary storefront facades shall be limited to a total of three signs: one primary sign (a flush-mounted sign, an awning sign, or a painted sign) and two secondary signs not to exceed one blade sign and one window sign.

Secondary storefront facades that do not occupy a business's primary entrance shall be limited to two signs.

Flush-mounted signs on a secondary business that do not occupy a business's primary entrance are prohibited on secondary facades.

Painted signage on secondary storefront facades is encouraged.

Pedestrian signs should be a primary form of signage. Window signage and blade signage are considered pedestrian signs.

Window signage shall cover no more than 60% of a storefront window.

Blade signs shall not exceed 3'x3', the lowest portion of the sign must be located a minimum of 7' above the finished grade immediately below it.

Signage size maximums for flush-mounted and awning signage are 8' x 2'.

Signage size maximums for painted signs are 10' x 4'.

Painted signage and/or **bold lettering** mounted (or stenciled) onto friezes and/or head casing of storefronts, as well as painted lettering on awnings over entrances and storefront glass, should be the most common types of primary storefront facade signage.

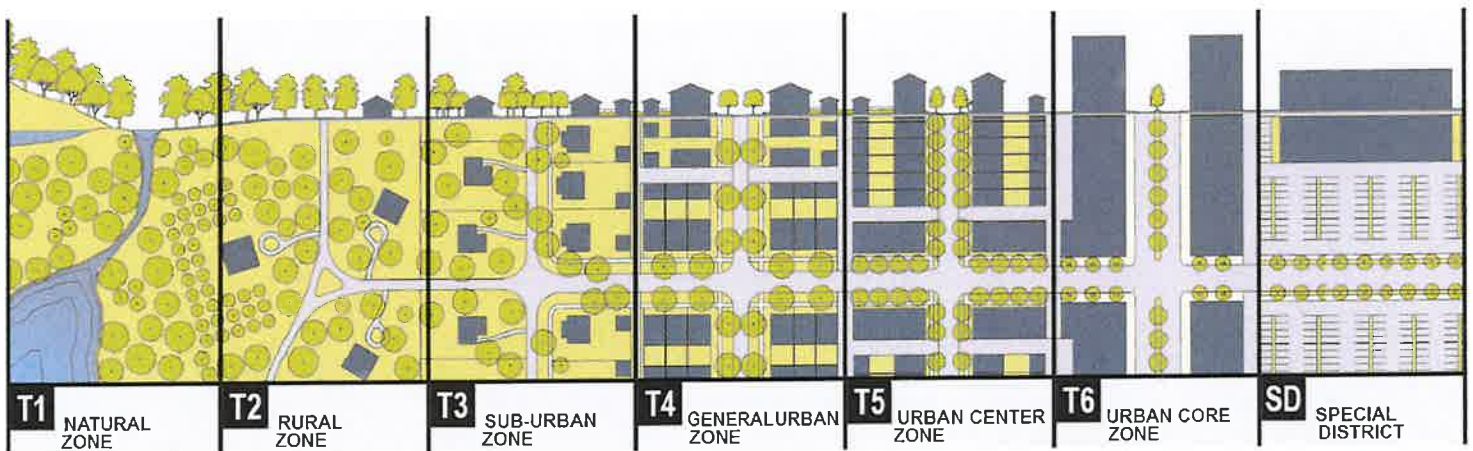
Pole or landmark signage is not permitted.

No signs shall have backlighting or contain internal illumination, but instead should be down or up lit, or contain backlit lettering.

Modest door signage does not count as a business' window signage.

Signage shall be **constructed** only using material that complements the building and the district. Materials should consist of one or more of the following: wood, steel, aluminum, wrought iron, and/or metal grill work.

Prohibited signs and signage elements include, poll, billboard, digital, banner, roof mounted, changeable type, vinyl, and backlit signage.



General to T2, T3, T4, T5, T6 - No additional signage will be permitted to these sections. The address number, no more than 6" vertical shall be attached to the building in proximity to the principal entrance or at a mailbox. **Specific to T2, T3** - Signage shall not be illuminated. **Specific to T4, T5, T6** - Signage shall be externally illuminated, except that signage within the shopfront glazing. **Specific T2, T3, T4** - One blade sign for each business may be permanently installed perpendicular to the facade with in the first layer. Such a sign shall not exceed a total of 4 square feet and shall clear 8 feet above the sidewalk. **Specific to T5, T6** - Blade signs, not to exceed 6 square feet for each separate business entrance, may be attached to and should be perpendicular to the facade, and shall clear 8 feet above the sidewalk. A single external permanent sign band may be applied to the facade of each building, providing that such sign not exceed 3 feet in height by any length.



Southern Mercantile - SIGNAGE TYPES

Sign Type Description	Illustration
Awning Sign: A sign that is part of or attached to the front face of an awning attached to a building	
Band Sign: A sign that is flat against the facade and placed directly above a ground floor main entrance of a retail storefront/tenant space and runs horizontally	
Canopy Sign: A sign that is attached to the front face of a canopy attached to a building	
Convenience Sign: A small, ground-mounted sign for pedestrian and vehicular circulation within a site	
Development Entrance Sign: A ground-mounted sign located at the entrance to a development, typically associated with subdivisions	
Temporary Construction Site Sign: A sign on an active construction site intended for temporary use during the construction period. Permitted in all districts.	
Monument Sign: A ground-mounted sign that is placed upon or supported by the ground and independent of any other structure	
Sandwich Board Sign: A pair of advertisement boards connected at the top by straps or hinge designed to be placed on the sidewalk in front of the retail storefront/tenant space	
Small Hanging/Projecting Sign: A small sign that either hangs from beams, brackets, or poles or that projects from poles or brackets from the building	
Sports Field/Sports Court Sign: A sign that is attached to a sports field or sports court fence	
Vertical Blade Sign: A vertically oriented sign that projects from a commercial/mixed use building that is two or more stories and fronts a street intersection	
Wall Sign: A sign that is flat against the building facade and mounted or applied directly to the building	
Temporary Sign: A sign intended for temporary use other than temporary construction site signs and campaign signs. Permitted in all districts.	

Lighting fixtures shall be on primary facades throughout Prospect Park.

Lighting fixtures' appearance shall be relative to the mercantile style lighting types/appearance.

The light fixtures shall be thoughtfully placed so as not to detract from the architecture but enhance the massing and details of the varied facade elements.

Freestanding lighting shall have a coordinated design, and all shall be treated as a coordinated system. Such as Bevelo gas lanterns or gooseneck lighting.

When fixtures are replaced or updated, they shall continue to complement the collective lighting design.

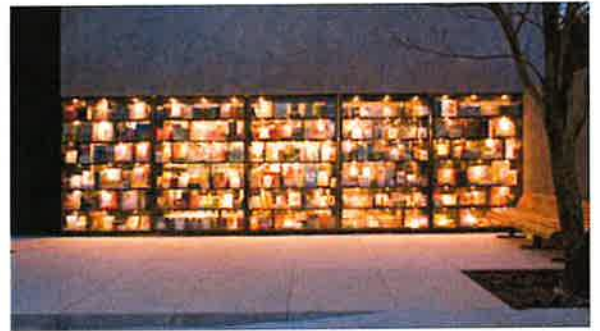
With the exception of lights used to highlight architecture or other subjects, light should not be directed above head height.

All outdoor string lights shall be Edison-style. String lighting should be thoughtfully fixed to vertical structures in a way that complements architectural features. String lighting should be included in site and architectural plans for design review.

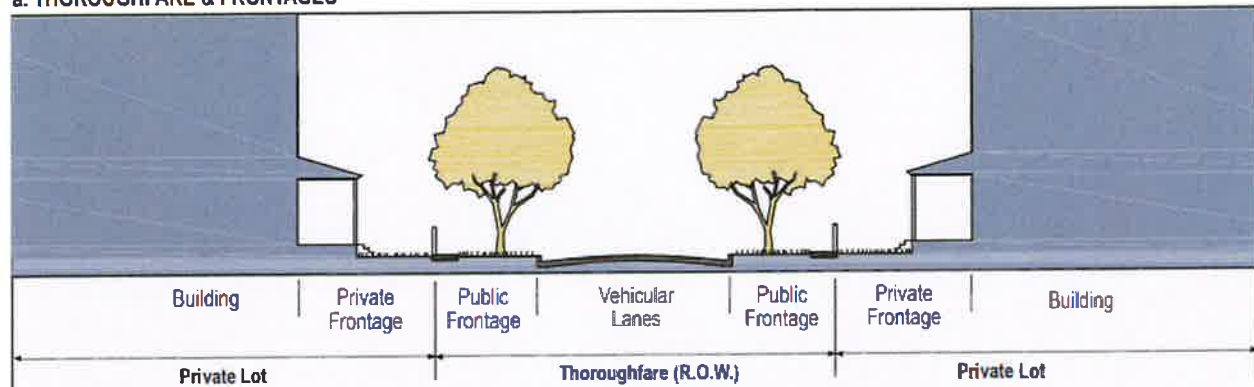
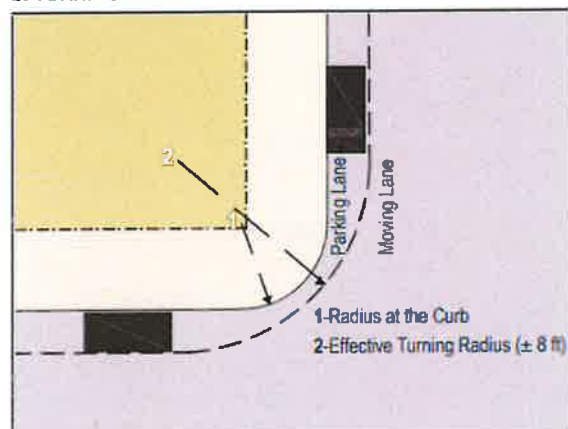
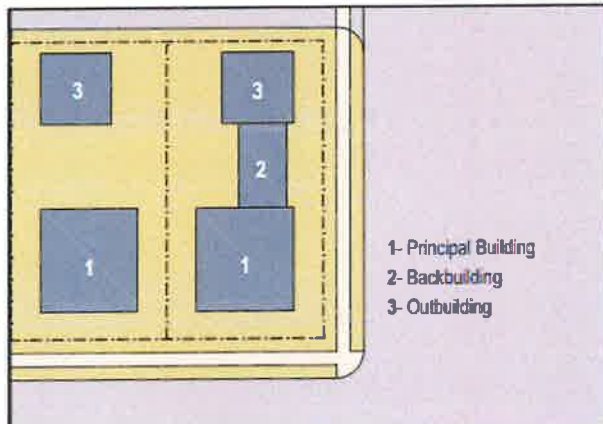
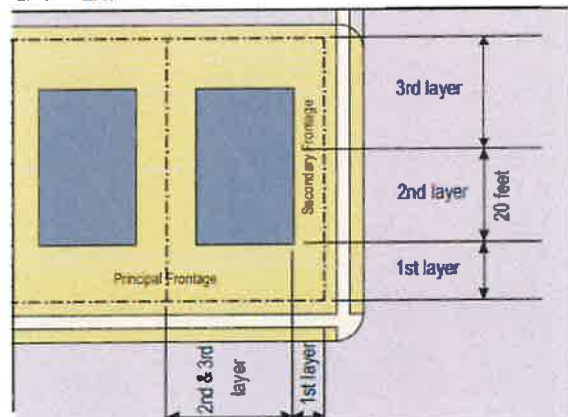
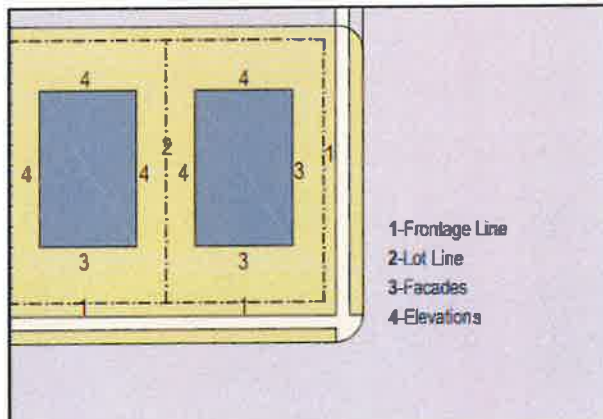
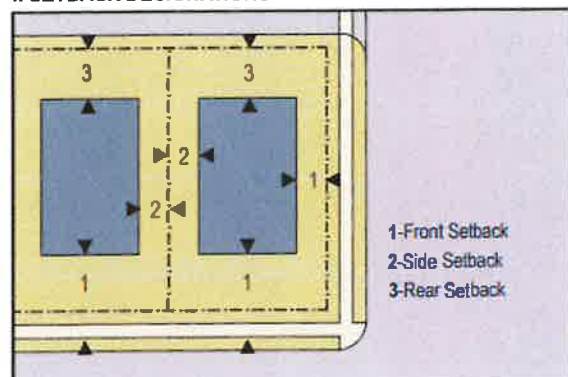
Parking Lot/Open Area Lighting

Parking lots with 50 or fewer spaces and open area requiring lighting for general purposes shall have light poles that do not exceed 10' overall height. Parking lots having more than 50 spaces shall have light poles that do not exceed 15' overall height. Luminaries of a sharp cut off design to shield light source above 72 degrees from vertical and providing 1.0 average maintained foot-candles with the following uniformity ratios: 3:1 avg/min* (.33 FC min.), 12:1 max/min* (4.0 FC min) are required in all cases. Public facilities such as lighted ball fields are excluded. A photometric grid shall be furnished by developer at time of building permit application.

*maximum or minimum foot-candle level at any point lighted area.



K. Definitions

TABLE 17. DEFINITIONS ILLUSTRATED**a. THOROUGHFARE & FRONTAGES****b. TURNING RADIUS****c. BUILDING DISPOSITION****d. LOT LAYERS****e. FRONTAGE & LOT LINES****f. SETBACK DESIGNATIONS****g. NETWORK-BASED PEDESTRIAN SHED**

DEFINITIONS

This Article provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article, then the CRC shall determine the correct definition. Items in italics refer to Articles, Sections, or Tables in the SmartCode.

Accessory Building: an Outbuilding with an Accessory Unit.

Accessory Unit: an Apartment not greater than 440 square feet sharing ownership and utility connections with a Principal Building; it may or may not be within an Outbuilding. See Table 10 and Table 17. (Syn: ancillary unit)

Allee: a regularly spaced and aligned row of trees usually planted along a Thoroughfare or Path.

Apartment: a Residential unit sharing a building and a Lot with other units and/or uses; may be for rent, or for sale as a condominium.

Arcade: a Private Frontage conventional for Retail use wherein the Facade is a colonnade supporting habitable space that overlaps the Sidewalk, while the Facade at Sidewalk level remains at the Frontage Line.

Attic: the interior part of a building contained within a pitched roof structure.

Avenue (AV): a Thoroughfare of high vehicular capacity and low to moderate speed, acting as a short distance connector between urban centers, and usually equipped with a landscaped median.

Base Density: the number of dwelling units per acre before adjustment for other Functions and/or TDR. See Density.

Bed and Breakfast: an owner-occupied Lodging type offering 1 to 5 bedrooms, permitted to serve breakfast in the mornings to guests.

Bicycle Lane (BL): a dedicated lane for cycling within a moderate-speed vehicular Thoroughfare, demarcated by striping.

Bicycle Trail (BT): a bicycle way running independently of a vehicular Thoroughfare.

Block: the aggregate of private Lots, Passages, Rear Alleys and Rear Lanes, circumscribed by Thoroughfares.

Block Face: the aggregate of all the building Facades on one side of a Block.

Boulevard (BV): a Thoroughfare designed for high vehicular capacity and moderate speed, traversing an Urbanized area. Boulevards are usually equipped with Slip Roads buffering Sidewalks and buildings.

Brownfield: an area previously used primarily as an industrial site.

By Right: characterizing a proposal or component of a proposal for a Community Plan or Building Scale Plan (Article 3, Article 4, or Article 5) that complies with the SmartCode and is permitted and processed administratively, without public hearing. See Warrant and Variance.

Civic Building: a building operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking, or for use approved by the legislative body.

Civic Space: an outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationships among their intended use, their size, their landscaping and their Enfronting buildings. See Table 13.

Civic Zone: designation for public sites dedicated for Civic Buildings and Civic Space.

Commercial: the term collectively defining workplace, Office, Retail, and Lodging Functions.

Common Destination: An area of focused community activity, usually defining the approximate center of a Pedestrian Shed. It may include without limitation one or more of the following: a Civic Space, a Civic Building, a Commercial center, or a transit station, and may act as the social center of a neighborhood.

Common Yard: a planted Private Frontage wherein the Facade is set back from the Frontage line. It is visually continuous with adjacent yards.

Configuration: the form of a building, based on its massing, Private Frontage, and height.

Corridor: a lineal geographic system incorporating transportation and/or Greenway trajectories. A transportation Corridor may be a lineal Transect Zone.

Cottage: an Edgeyard building type. A single-family dwelling, on a regular Lot, often shared with an Accessory Building in the back yard.

Courtyard Building: a building that occupies the boundaries of its Lot while internally defining one or more private patios.

Curb: the edge of the vehicular pavement that may be raised or flush to a Swale. It usually incorporates the drainage system.

Density: the number of dwelling units within a standard measure of land area.

Design Speed: is the velocity at which a Thoroughfare tends to be driven without the constraints of signage or enforcement. There are four ranges of speed: Very

Low: (below 20 MPH); **Low:** (20-25 MPH); **Moderate:** (25-35 MPH); **High:** (above 35 MPH). Lane width is determined by desired Design Speed. See Table 3A.

Developable Areas: lands other than those in the O-1 Preserved Open Sector.

Disposition: the placement of a building on its Lot. See Table 9 and Table 17.

Dooryard: a Private Frontage type with a shallow Setback and front garden or patio, usually with a low wall at the Frontage Line. See Table 7. (Variant: Lightwell, light court.)

Drive: a Thoroughfare along the boundary between an Urbanized and a natural condition, usually along a waterfront, Park, or promontory. One side has the urban character of a Thoroughfare, with Sidewalk and building, while the other has the qualities of a Road or parkway, with naturalistic planting and rural details.

Driveway: a vehicular lane within a Lot, often leading to a garage. See Section 5.10 and Table 3B-f.

Edgeyard Building: a building that occupies the center of its Lot with Setbacks on all sides. See Table 9.

Effective Parking: the amount of parking required for Mixed Use after adjustment by the Shared Parking Factor. See Table 11.

Effective Turning Radius: the measurement of the inside Turning Radius taking parked cars into account. See Table 17.

Elevation: an exterior wall of a building not along a Frontage Line. See Table 17.

Encroach: to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.

Encroachment: any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public Frontage, or above a height limit.

Enfront: to place an element along a Frontage, as in "porches Enfront the street."

Estate House: an Edgeyard building type. A single-family dwelling on a very large Lot of rural character, often shared by one or more Accessory Buildings. (Syn: country house, villa)

Expression Line: a line prescribed at a certain level of a building for the major part of the width of a Facade, expressed by a variation in material or by a limited projection such as a molding or balcony. See Table 8. (Syn: transition line.)

Extension Line: a line prescribed at a certain level of a building for the major part of the width of a Facade, regulating the maximum height for an Encroachment by an Arcade Frontage. See Table 8.

Facade: the exterior wall of a building that is set along a Frontage Line. See Elevation.

Forecourt: a Private Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. See Table 7.

Frontage: the area between a building Facade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into Private Frontage and Public Frontage. See Table 4A and Table 7.

Frontage Line: a Lot line bordering a Public Frontage. Facades facing Frontage Lines define the public realm and are therefore more regulated than the Elevations facing other Lot Lines. See Table 17.

Function: the use or uses accommodated by a building and its Lot, categorized as Restricted, Limited, or Open, according to the intensity of the use. See Table 10 and Table 12.

Gallery: a Private Frontage conventional for Retail use wherein the Facade is aligned close to the Frontage Line with an attached cantilevered shed or lightweight colonnade overlapping the Sidewalk. See Table 7.

GIS (Geographic Information System): a computerized program in widespread municipal use that organizes data on maps. The protocol for preparing a Regional Plan should be based on GIS information. See Section 2.1.

Green: a Civic Space type for unstructured recreation, spatially defined by landscaping rather than building Frontages. See Table 13.

Greenfield: an area that consists of open or wooded land or farmland that has not been previously developed.

Greenway: an Open Space Corridor in largely natural conditions which may include trails for bicycles and pedestrians.

Greyfield: an area previously used primarily as a parking lot. Shopping centers and shopping malls are typical Greyfield sites. (Variant: Grayfield.)

Growth Sector: one of four Sectors where development is permitted By Right in the SmartCode, three for New Communities and one for Infill.

Home Occupation: non-Retail Commercial enterprises. The work quarters should be invisible from the Frontage, located either within the house or in an Outbuilding. Permitted activities are defined by the Restricted Office category. See Table 10.

House: an Edgeward building type, usually a single-family dwelling on a large Lot, often shared with an Accessory Building in the back yard. (Syn: single.)

Infill: noun - new development on land that had been previously developed, including most Greyfield and Brownfield sites and cleared land within Urbanized areas. verb- to develop such areas.

Inn: a Lodging type, owner-occupied, offering 6 to 12 bedrooms, permitted to serve breakfast in the mornings to guests. See Table 10.

Layer: a range of depth of a Lot within which certain elements are permitted. See Table 17.

Lightwell: A Private Frontage type that is a below-grade entrance or recess designed to allow light into basements. See Table 7. (Syn: light court.)

Liner Building: a building specifically designed to mask a parking lot or a Parking Structure from a Frontage.

Live-Work: a Mixed Use unit consisting of a Commercial and Residential Function. The Commercial Function may be anywhere in the unit. It is intended to be occupied by a business operator who lives in the same structure that contains the Commercial activity or industry. See Work-Live. (Syn.: flexhouse.)

Lodging: premises available for daily and weekly renting of bedrooms. See Table 10 and Table 12.

Lot: a parcel of land accommodating a building or buildings of unified design. The size of a Lot is controlled by its width in order to determine the grain (i.e., fine grain or coarse grain) of the urban fabric.

Lot Line: the boundary that legally and geometrically demarcates a Lot.

Lot Width: the length of the Principal Frontage Line of a Lot.

Main Civic Space: the primary outdoor gathering place for a community. The Main Civic Space is often, but not always, associated with an important Civic Building.

Meeting Hall: a building available for gatherings, including conferences, that accommodates at least one room equivalent to a minimum of 10 square feet per projected dwelling unit within the Pedestrian Shed in which it is located.

Mixed Use: multiple Functions within the same building through superimposition or adjacency.

Mixed Use Block: multiple Functions within the same block through superimposition or by adjacency, or at a proximity determined by Warrant.

Net Site Area: all developable land within a site including Thoroughfares but excluding land allocated as Civic Zones.

Office: premises available for the transaction of general business but excluding Retail, artisanal and Manufacturing uses.

Open Space: land intended to remain undeveloped; it may be for Civic Space.

Park: a Civic Space type that is a natural preserve available for unstructured recreation. See Table 13.

Parking Structure: a building containing one or more Stories of parking above grade.

Passage (PS): a pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long Blocks and connect rear parking areas to Frontages.

Path (PT): a pedestrian way traversing a Park or rural area, with landscape matching the contiguous Open Space, ideally connecting directly with the urban Sidewalk network.

Planter: the element of the Public Frontage which accommodates street trees, whether continuous or individual.

Plaza: a Civic Space type designed for Civic purposes and Commercial activities in the more urban Transect Zones, generally paved and spatially defined by building Frontages.

Principal Building: the main building on a Lot, usually located toward the Frontage. See Table 17.

Principal Entrance: the main point of access for pedestrians into a building.

Principal Frontage: On corner Lots, the Private Frontage designated to bear the address and Principal Entrance to the building, and the measure of minimum Lot width. Prescriptions for the parking Layers pertain only to the Principal Frontage. Prescriptions for the first Layer pertain to both Frontages of a corner Lot. See Frontage.

Private Frontage: the privately held Layer between the Frontage Line and the Principal Building Facade. See Table 7 and Table 17.

Public Frontage: the area between the Curb of the vehicular lanes and the Frontage Line.

Rear Alley (RA): a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Alleys should be paved from building face to building face, with drainage by inverted crown at the center or with roll Curbs at the edges.

Rear Lane (RL): a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Lanes may be paved lightly to Driveway standards. The streetscape consists of gravel or landscaped edges, has no raised Curb, and is drained by percolation.

Rearyard Building: a building that occupies the full Frontage Line, leaving the rear of the Lot as the sole yard. See Table 9. (Var: Rowhouse, Townhouse, Apartment House)

Recess Line: a line prescribed for the full width of a Facade, above which there is a Stepback of a minimum distance, such that the height to this line (not the overall building height) effectively defines the enclosure of the Enfronting public space.

Var: A Line.

Regulating Plan: a Zoning Map or set of maps that shows the Transect Zones, Civic Zones, Special Districts if any, and Special Requirements if any, of areas subject to, or potentially subject to, regulation by the SmartCode.

Residential: characterizing premises available for long-term human dwelling.

Retail: characterizing premises available for the sale of merchandise and food service. See Table 10 and Table 12.

Retail Frontage: Frontage designated on a Regulating Plan that requires or recommends the provision of a Shopfront, encouraging the ground level to be available for Retail use. See Special Requirements.

Road (RD): a local, rural and suburban Thoroughfare of low-to-moderate vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T1-T3).

Rowhouse: a single-family dwelling that shares a party wall with another of the same type and occupies the full Frontage Line. See Rearyard Building. (Syn: Townhouse)

Secondary Frontage: on corner Lots, the Private Frontage that is not the Principal Frontage. As it affects the public realm, its First Layer is regulated. See Table 17.

Setback: the area of a Lot measured from the Lot line to a building Facade or Elevation that is maintained clear of permanent structures, with the exception of Encroachments listed in Section 5.7. See Table 14g. (Var: build-to-line.)

Shared Parking Factor: an accounting for parking spaces that are available to more than one Function. See Table 11.

Shopfront: a Private Frontage conventional for Retail use, with substantial glazing and an awning, wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. See Table 7.

Sidewalk: the paved section of the Public Frontage dedicated exclusively to pedestrian activity.

Sidyard Building: a building that occupies one side of the Lot with a Setback on the other side. This type can be a Single or Twin depending on whether it abuts the neighboring house.

Square: a Civic Space type designed for unstructured recreation and Civic purposes, spatially defined by building Frontages and consisting of Paths, lawns and trees, formally disposed. See Table 13.

Stepback: a building Setback of a specified distance that occurs at a prescribed number of Stories above the ground. See Table 8.

Stoop: a Private Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk for privacy, with an exterior stair and landing at the entrance. See Table 7.

Story: a habitable level within a building, excluding an Attic or raised basement. See Table 8.

Street (ST): a local urban Thoroughfare of low speed and capacity. See Table 3B and Table 4B.

Streetscreen: a freestanding wall built along the Frontage Line, or coplanar with the Facade. It may mask a parking lot from the Thoroughfare, provide privacy to a side yard, and/or strengthen the spatial definition of the public realm. (Syn: streetwall.) See Section 5.7.5f.

Substantial Modification: alteration to a building that is valued at more than 50% of the replacement cost of the entire building, if new.

Swale: a low or slightly depressed natural area for drainage.

T-zone: Transect Zone.

TND: Traditional Neighborhood Development, a Community Unit type structured by a Standard Pedestrian Shed oriented toward a Common Destination consisting of a Mixed Use center or Corridor, and in the form of a medium-sized settlement near a transportation route. See Table 2 and Table 14a. (Syn: village. Variant: Infill TND, neighborhood.)

TOD: Transit Oriented Development. TO D is created by an overlay on all or part of a TND or RCD, or by designation on a Regional Plan, permitting increased Density to support rail or Bus Rapid Transit (BRT) as set forth in Section 5.9.2d.

Townhouse: See Rearyard Building. (Syn: Rowhouse)

Transect: a cross-section of the environment showing a range of different habitats. The rural-urban Transect of the human environment used in the SmartCode template is divided into six Transect Zones. These zones describe the physical form and character of a place, according to the Density and intensity of its land use and Urbanism.

Transect Zone (T-zone): One of several areas on a Zoning Map regulated by the SmartCode. Transect Zones are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, Density, height, and Setback requirements, other elements of the intended habitat are integrated, including those of the private Lot and building and Public Frontage. See Table 1.

Turning Radius: the curved edge of a Thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn.

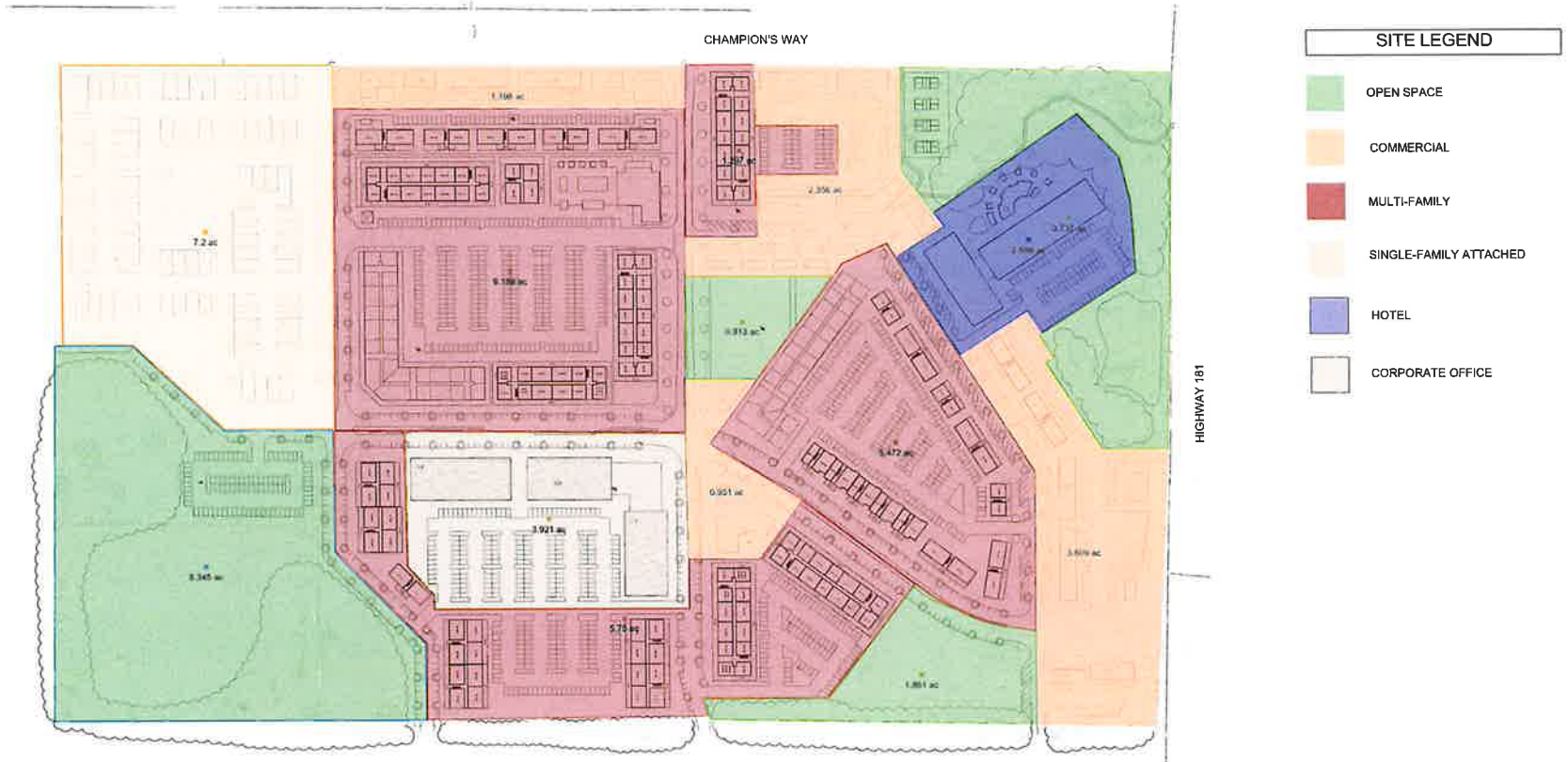
Urbanism: collective term for the condition of a compact, Mixed Use settlement, including the physical form of its development and its environmental, functional, economic, and sociocultural aspects.

Warrant: a ruling that would permit a practice that is not consistent with a specific provision of this Code, but that is justified by its Intent (Section 1.3). Warrants are usually granted administratively by the CRC. See Section 1.5.

Work-Live: a Mixed Use unit consisting of a Commercial and Residential Function. It typically has a substantial Commercial component that may accommodate employees and walk-in trade. The unit is intended to function predominantly as work space with incidental Residential accommodations that meet basic habitability requirements. See Live-Work. (Syn: Live-With.)

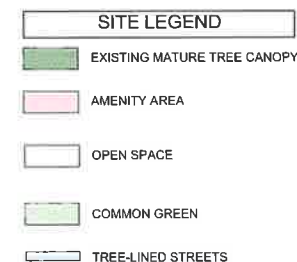
Yield: characterizing a Thoroughfare that has two-way traffic but only one effective travel lane because of parked cars, necessitating slow movement and driver negotiation. Also, characterizing parking on such a Thoroughfare.

Zoning Map: the official map or maps that are part of the zoning ordinance and delineate the boundaries of individual zones and districts. See Regulating Plan.

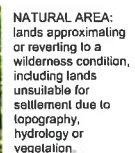


PROSPECT PARK LAND USE MAP
SCALE 1" = 100'-0"





Champion's Way:
Existing street to be
landscaped, lined
with street trees, and
a M.U.T. installed
along entire
frontage



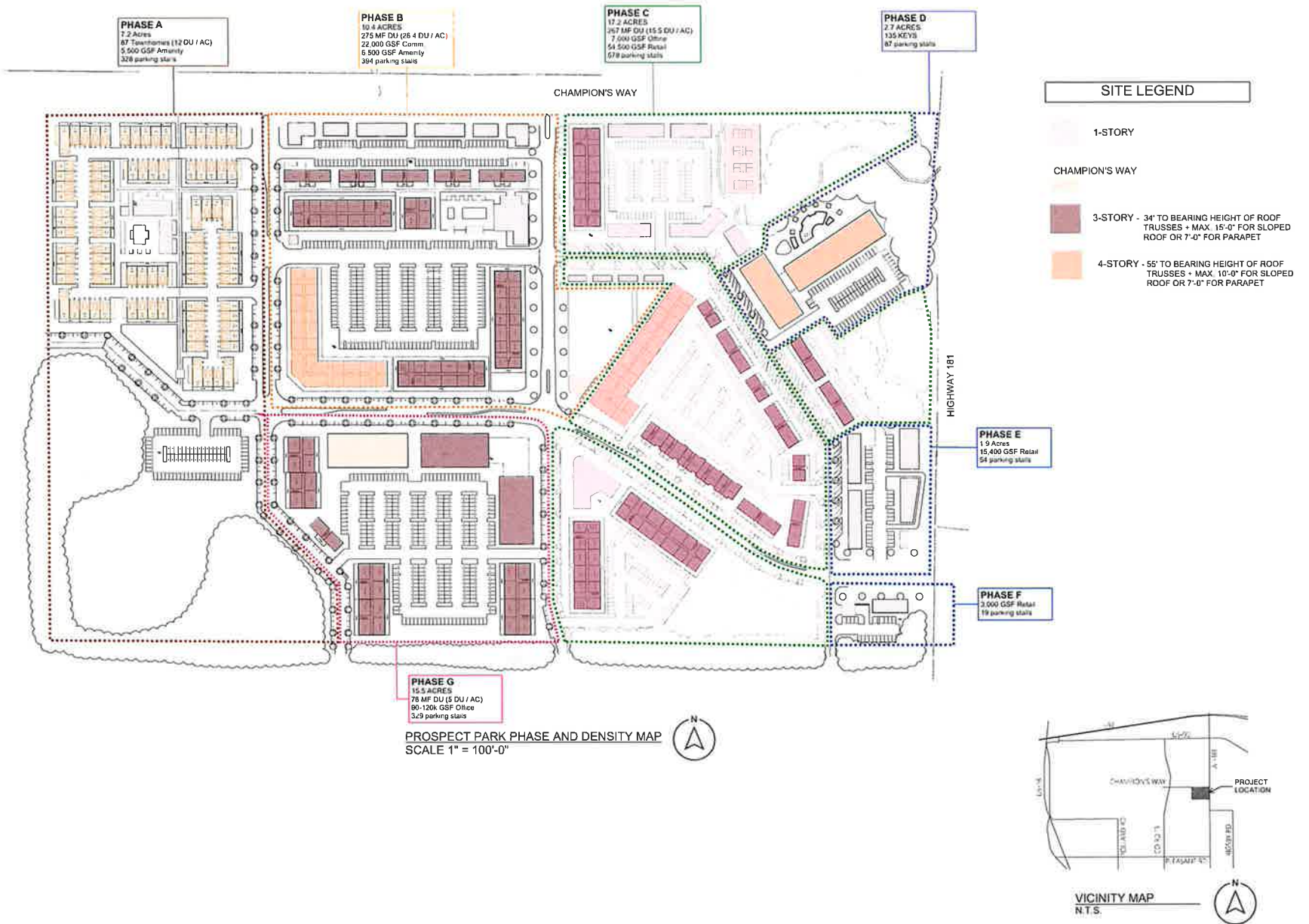
AMENITY AREA:
Developed lands
devoted to
community use for
relaxation, recreation
&/or play.

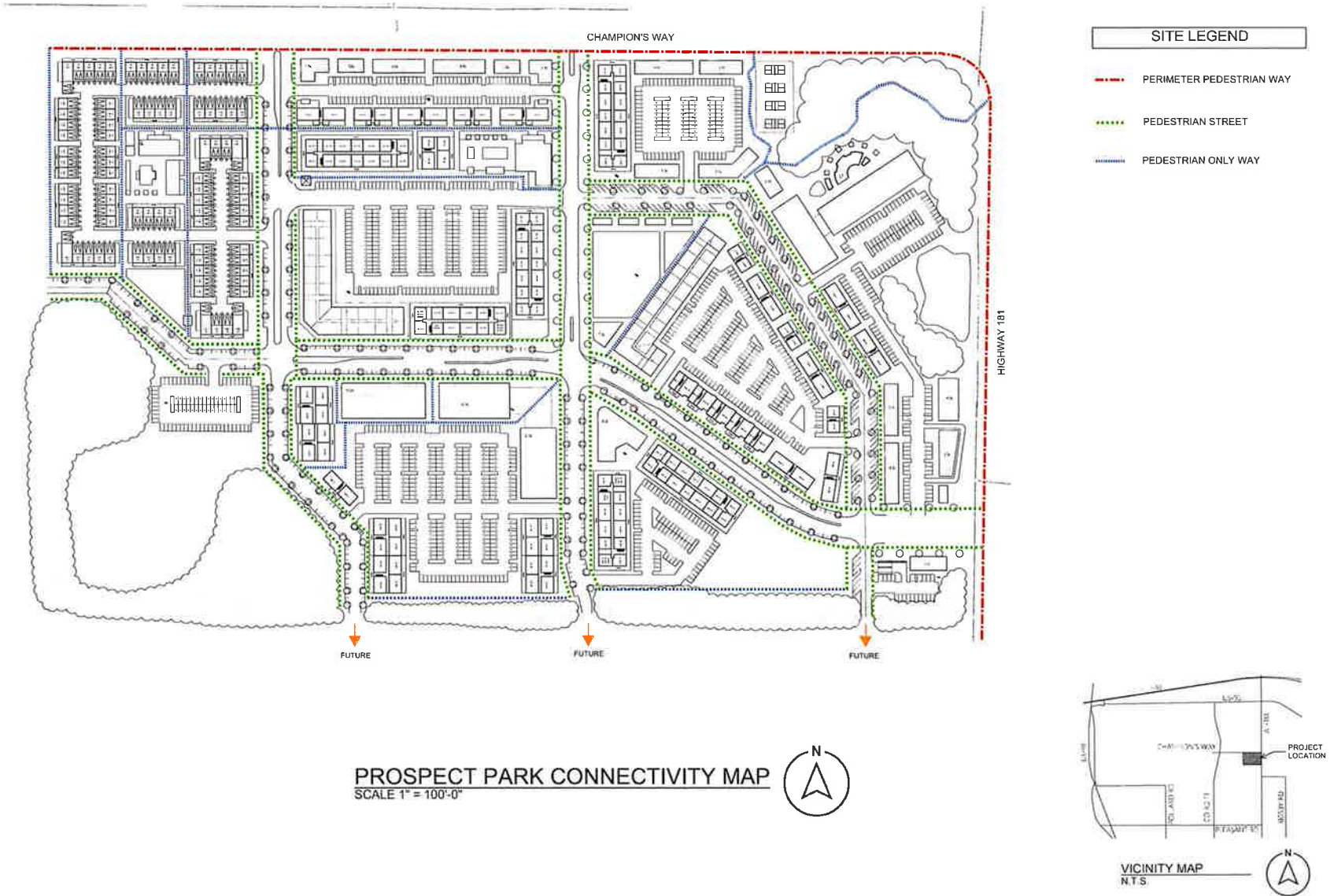


Green:
An open space available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages.



PEDESTRIAN COURT / PATH: Circulation systems for interconnectivity that also serve as common green space for pedestrian occupation. Consist of a mix of hard and soft scape, paths, seating, and vegetation.





**CITY OF DAPHNE, ALABAMA
RESOLUTION 2024 - 47**

**A RESOLUTION DECLARING CERTAIN PERSONAL PROPERTY SURPLUS AND
AUTHORIZING THE MAYOR TO DISPOSE OF SUCH PROPERTY**

WHEREAS, the Management of the City of Daphne have determined that the items listed below are no longer required for public or municipal purposes and recommended for disposal.

WHEREAS, the City of Daphne supports the efforts of Daphne Search & Rescue Association for the rescue services they provide to the City of Daphne; and

WHEREAS, the City of Daphne has determined the Daphne Search & Rescue Association could utilize this equipment for their operations; and

NOW, THEREFORE BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF DAPHNE, ALABAMA that

1. The property listed below is hereby declared to be surplus property; and

DEPT	EQ/VEH #	DESCRIPTION	VIN/SN
S & R	505/1805	2006 F350 CREW CAB TRUCK	1FTWW32P96EA68510
S & R	Recovery#4	2014-21'-218DLV, CAROLINA SKIFF 21DLV,-YAMAHA F150(2017) MOTOR-SN:X1201072 & TRAILER	EKH3J557K314,68VX-1160456, 1M5BA202XE1E92090

2. The Mayor is authorized to donate the such personal property to Daphne Search & Rescue Association; and
3. The Mayor is further authorized to sell such personal property through Govdeals.com to the highest bidder and deposit any and all proceeds to the appropriate City Fund if for any reason the donation is not needed and sign all necessary documents.

APPROVED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF DAPHNE, ALABAMA, THIS _____ day of _____, 2024

Robin LeJeune, Mayor

ATTEST:

Candace G. Antinarella, MMC, City Clerk

**CITY OF DAPHNE, ALABAMA
RESOLUTION 2024-48**

**REQUEST FOR QUALIFICATIONS (RFQ) For Engineering Services
2024-RFQ-Safe Streets For All (SS4A) Comprehensive Safety Action Plan
For The City of Daphne**

WHEREAS, the City of Daphne plans to implement a Safe Streets For All (SS4A) Comprehensive Safety Action Plan For The City of Daphne; and

WHEREAS, the City is seeking a qualified consultant to provide engineering services for the Safe Streets For All (SS4A) Comprehensive Safety Action Plan; and

WHEREAS, the City of Daphne developed and advertised a request for Qualifications (RFQ) to seek a qualified consultant to provide professional engineering services to develop the Safe Streets For All (SS4A) Comprehensive Safety Action Plan; and

WHEREAS, the subject RFQ is hereby certified contemporaneously with the passing of this resolution that the bid was let in compliance with all applicable provisions of Alabama law; and

WHEREAS, City staff have reviewed the submitted proposal based on the qualifications and found the recommended proposal meets the requirements of the RFQ; and

WHEREAS, staff recommends the RFQ be awarded to Neel-Schaffer, Inc.

NOW, THEREFORE BE IT RESOLVED, AND IT IS HEREBY RESOLVED, BY THE CITY COUNCIL OF THE CITY OF DAPHNE, ALABAMA, that the City hereby:

1. The Request For Qualifications (RFQ) for engineering services for the Safe Streets For All (SS4A) Comprehensive Safety Action Plan be awarded to Neel-Schaffer, Inc..
2. The Mayor is hereby authorized and directed to do or perform or cause to be done or performed in the name of and behalf of the City such other acts, and to execute, deliver, file and record such other instruments, documents, certificates, notifications and related documents, all as shall be required by law or necessary or desirable to carry out the provisions and purposes of this resolution.

APPROVED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF DAPHNE, ALABAMA, THIS ____ day of _____, 2024.

Robin LeJeune, Mayor

ATTEST:

Candace G. Antinarella, MMC, City Clerk

**CITY OF DAPHNE, ALABAMA
RESOLUTION 2024-49**

2024-H-PARK CHEMICALS

WHEREAS, The City of Daphne is required under section 41-16-20 of the Code of Alabama to secure competitive bids for items in excess of \$30,000; and

WHEREAS, The City of Daphne acknowledges that the cost for the park chemicals will exceed this amount; and

WHEREAS, Staff has reviewed the bids for the park chemicals and determined that the bid as presented is reasonable; and

WHEREAS, the subject bid is hereby certified contemporaneously with the passing of this resolution that the bid was let in compliance with all applicable provisions of Alabama law; and

WHEREAS, Staff recommends the bid for the park chemicals be awarded to Harrell's LLC.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DAPHNE, ALABAMA that the City hereby accept the bid of Harrell's LLC for unit cost as follows

PRODUCT	UNIT	UNIT PRICE	COMMENTS
Fertilizer			
18-24-12 50%MOP / Lesco	50 pound	\$ 21.35	
24-2-11 40% PPSCU 6FE/ Lesco	50 pound	\$ 19.24	25-6-12
32-0-08 Fertilizer	50 pound	\$ 23.59	32-0-7
RPM 422-Turkey Compose / Sustane bolster G4-4-4	50 pound	\$ 11.11	5-4-0 Biosolids REG
630 Mal Organic/ Lesco	50 pound	No Bid	
Insecticide			
Acephate 90 Prill	20 pound	\$ 200.00	Acephate 90 WDG 20 Lb Bag
Herbicide			
Revolver ***	87 OZ	\$ 758.00	
Monument *** / Agency		\$ 300.00	
MSMA 6.6	2.5 gallon	\$ 94.70	Target 6.
Prosecutor Pro	2.5 gallon	Special Order	6.6 MSMA
Three Way Selective	2.5 gallon	\$ 58.28	Triplet SF
Coastal	2.5 gallon	\$ 433.33	
Miscellaneous			
Tribune	2.5 gallon	\$ 146.18	

OTHER CHEMICALS PURCHASED BY THE CITY:			
PRODUCT	UNIT	UNIT PRICE	COMMENTS
Fertilizer			
18-0-18 50%PPSCU	50 pound	\$ 17.20	
Insecticide			
Crosscheck Plus	96 oz	\$ 29.00	<i>Bifen 7.9F Select 1 Gal</i>
Herbicide			
Supter	1 pint	<i>No Bid</i>	
Certainty	1.25 ounce	\$ 69.00	
Tribute Total WDG	6 oz	\$ 413.60	
Mansion	2 oz	\$ 29.81	<i>Manor</i>
Fusilade II	32 oz	\$ 87.67	
Quinclorac 1.5L	64 oz	\$ 54.09	<i>Harrell's ProtectMAX Quinclorac</i>
Pre-M Aquacup	2.5 gallon	\$ 138.97	<i>Pendulum AquaCap</i>
Speedzone	2.5 gallon	\$ 182.50	
Fungicide			
Subdue	1 gallon	\$ 611.00	
Spectator	2.5 gallon	\$ 167.50	<i>Tide Propiconazole 41.8%</i>
Miscellaneous			
Chelated Iron Liquid	2.5 gallon	\$ 27.56	<i>Harrell's 12-0-6%FE, 3%Mn</i>
Dispatch	2.5 gallon	\$ 38.65	<i>Hydro-Inject</i>

As specified in BID SPECIFICATION NO. 2024-H-PARK CHEMICALS.

APPROVED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF DAPHNE, ALABAMA, THIS _____ day of _____, 2024.

Robin LeJeune, Mayor

ATTEST:

Candace G. Antinarella, MMC, City Clerk